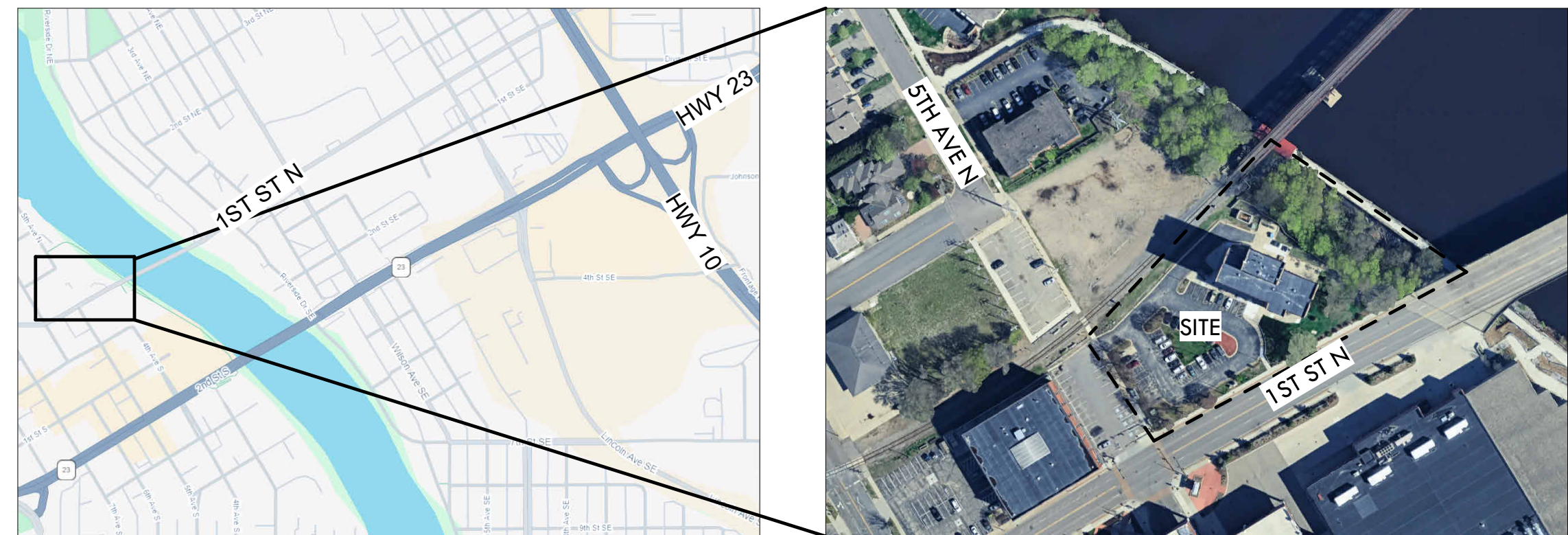


EMPIRE APARTMENTS

PLUMBING STACK REPLACEMENT

54 4th Ave. N.
St. Cloud, MN 56303



VICINITY MAP

54 4th Avenue North
St. Cloud, MN 56303



REFERENCE VIEW

DRAWING SHEET INDEX

TITLE SHEET		ISSUE DATE
T	TITLE	08/03/2026

CIVIL

ARCHITECTURAL		
A100	PHASING PLANS - OVERALL	08/03/2026
A101	PHASING PLANS - PHASE 1	08/03/2026
A102	PHASING PLANS - PHASE 2	08/03/2026
A103	PHASING PLANS - PHASE 3	08/03/2026
A104	PHASING PLANS - PHASE 4	08/03/2026
A105	PHASING PLANS - PHASE 5	08/03/2026
A106	PHASING PLANS - PHASE 6	08/03/2026
A107	FIRST FLOOR PLANS	08/03/2026
A200	ELEVATIONS AND WALL TYPES	08/03/2026

PLUMBING		
P001	PLUMBING SYMBOLS AND LEGEND	08/03/2026
P100	PLUMBING DEMOLITION PLAN - UNDERGROUND	08/03/2026
P101	PLUMBING DEMOLITION PLANS	08/03/2026
P102	PLUMBING DEMOLITION PLANS	08/03/2026
P103	PLUMBING DEMOLITION PLANS - ROOF & PENTHOUSE	08/03/2026
P300	PLUMBING PLAN - UNDERGROUND	08/03/2026
P301	PLUMBING PLANS	08/03/2026
P302	PLUMBING PLANS	08/03/2026
P401	PLUMBING ISOMETRICS	08/03/2026
P402	PLUMBING ISOMETRICS	08/03/2026
P501	PLUMBING PLANS - ROOF & PENTHOUSE	08/03/2026
P601	PLUMBING ENLARGED PLANS	08/03/2026
P602	PLUMBING ENLARGED PLANS	08/03/2026
P701	PLUMBING DETAILS	08/03/2026
P702	PLUMBING DETAILS	08/03/2026
P801	PLUMBING SCHEDULES	08/03/2026

PROJECT DIRECTORY

OWNER
The Housing and Redevelopment Authority of St. Cloud, MN
1225 West Saint Germain Street
St. Cloud, MN 56301

ARCHITECT
BLUMENTALS / ARCHITECTURE INC.
1600 MARSHALL ST. NE, SUITE 1
MINNEAPOLIS, MN 55413

PRINCIPAL: DAN NOYES
ARCHITECT: JIM MOY
JOB CAPTAIN: RYAN LOUDENBACK
PHONE: (763) 328-2909
EMAIL: RYANL@BLUMENTALS.COM

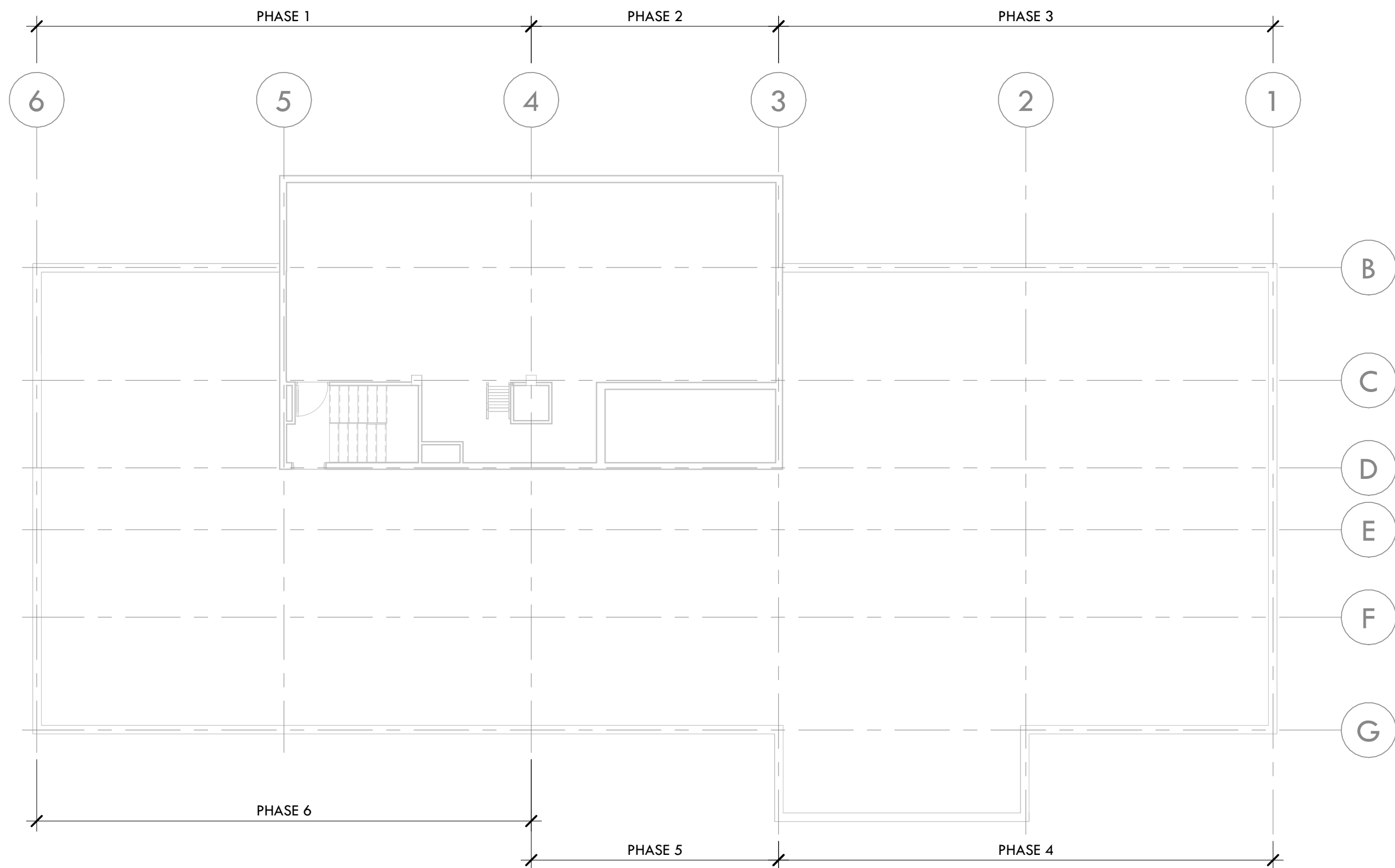
MEP ENGINEER
DESIGN TREE
1139 FRANKLIN AVENUE NE, SUITE 5
SAUK RAPIDS, MN 56379

PLUMBING ENGINEER: PAUL QUIRIN, PE
MECHANICAL ENGINEER: PAUL QUIRIN, PE
PHONE: (763) 270-6304
EMAIL: PEQ@DTE-LS.COM

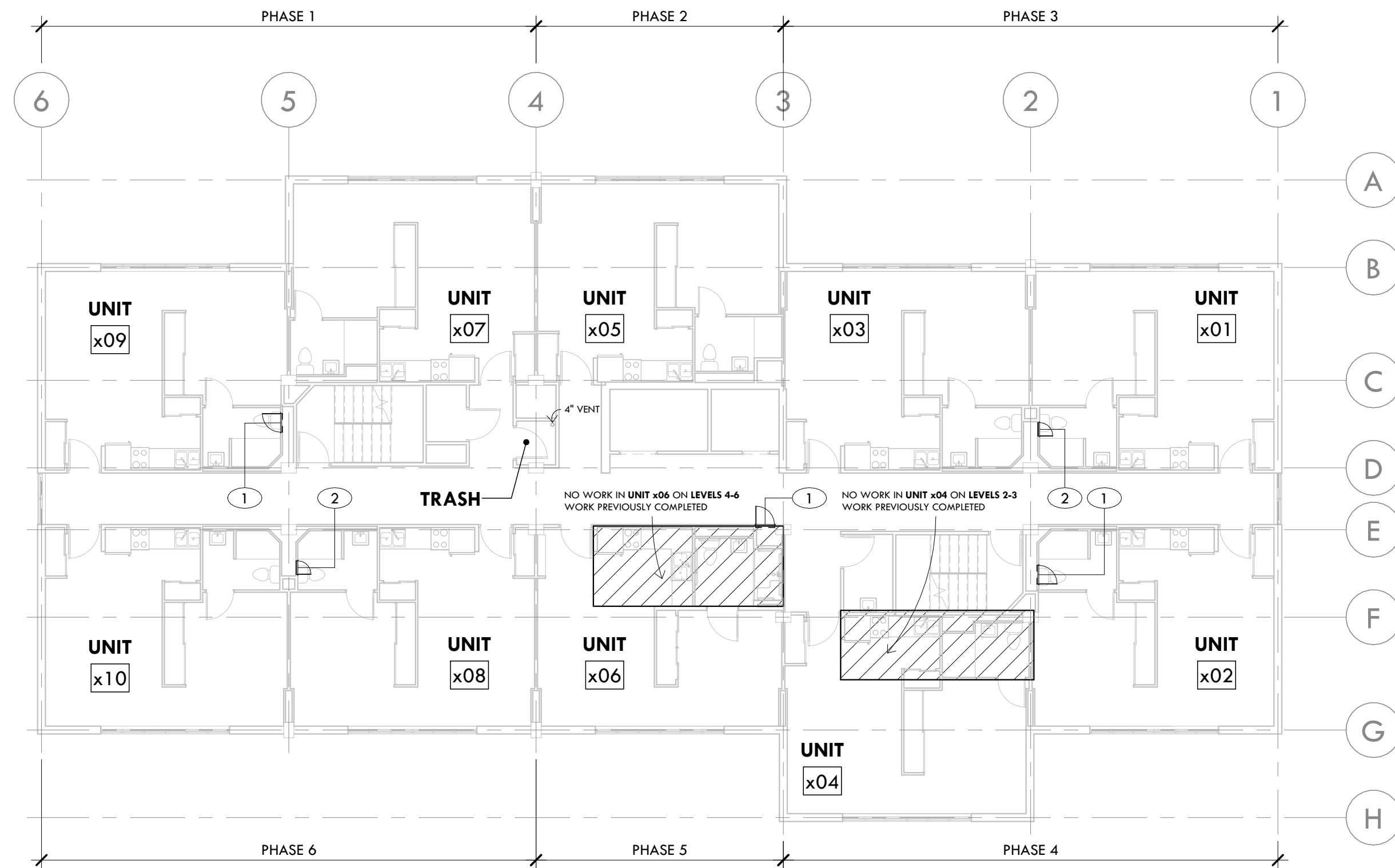


**Blumentals
Architecture**

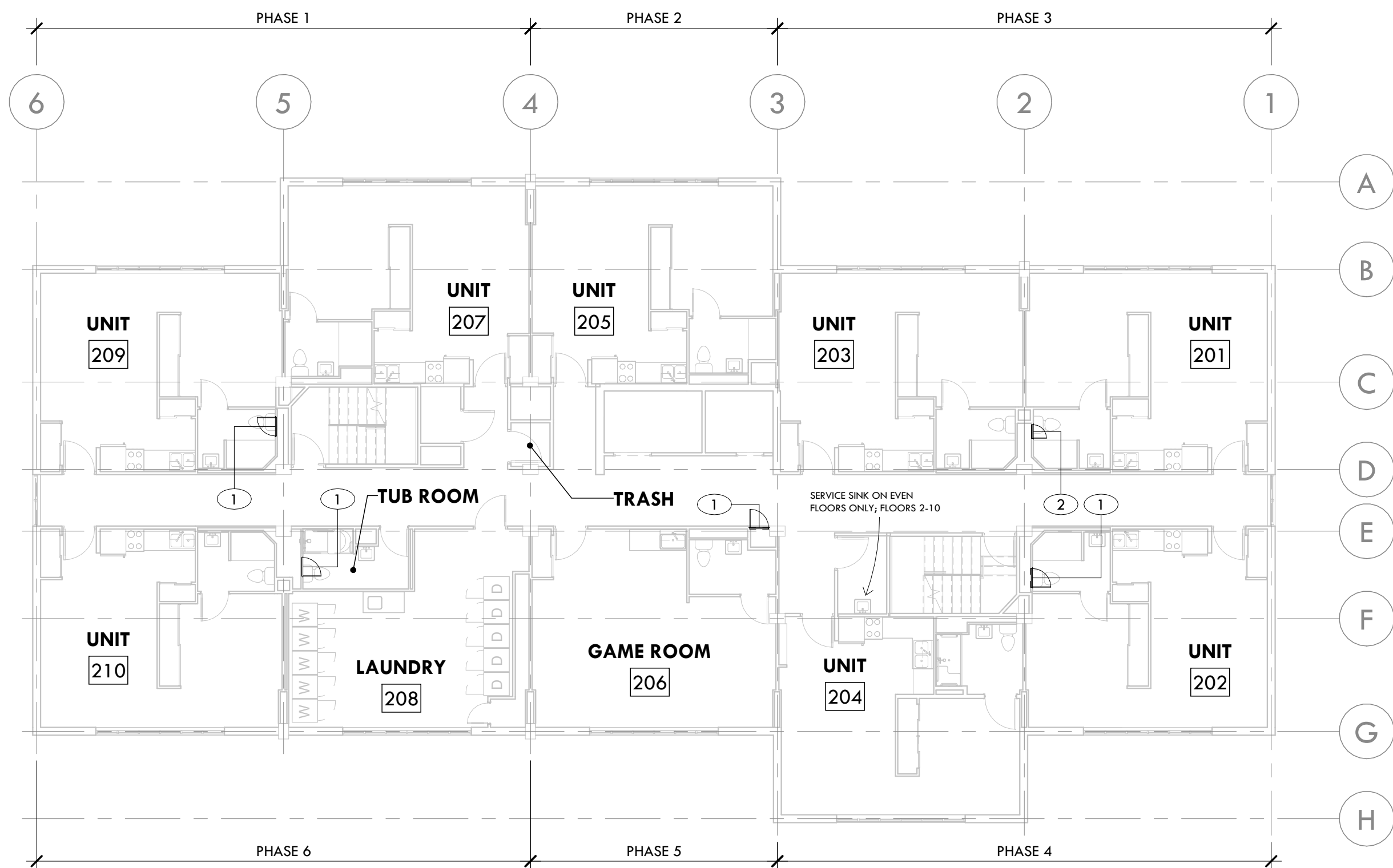
1600 Marshall Street NE, Suite 1
Minneapolis, MN 55413
612/331-2222
info@blumentals.com



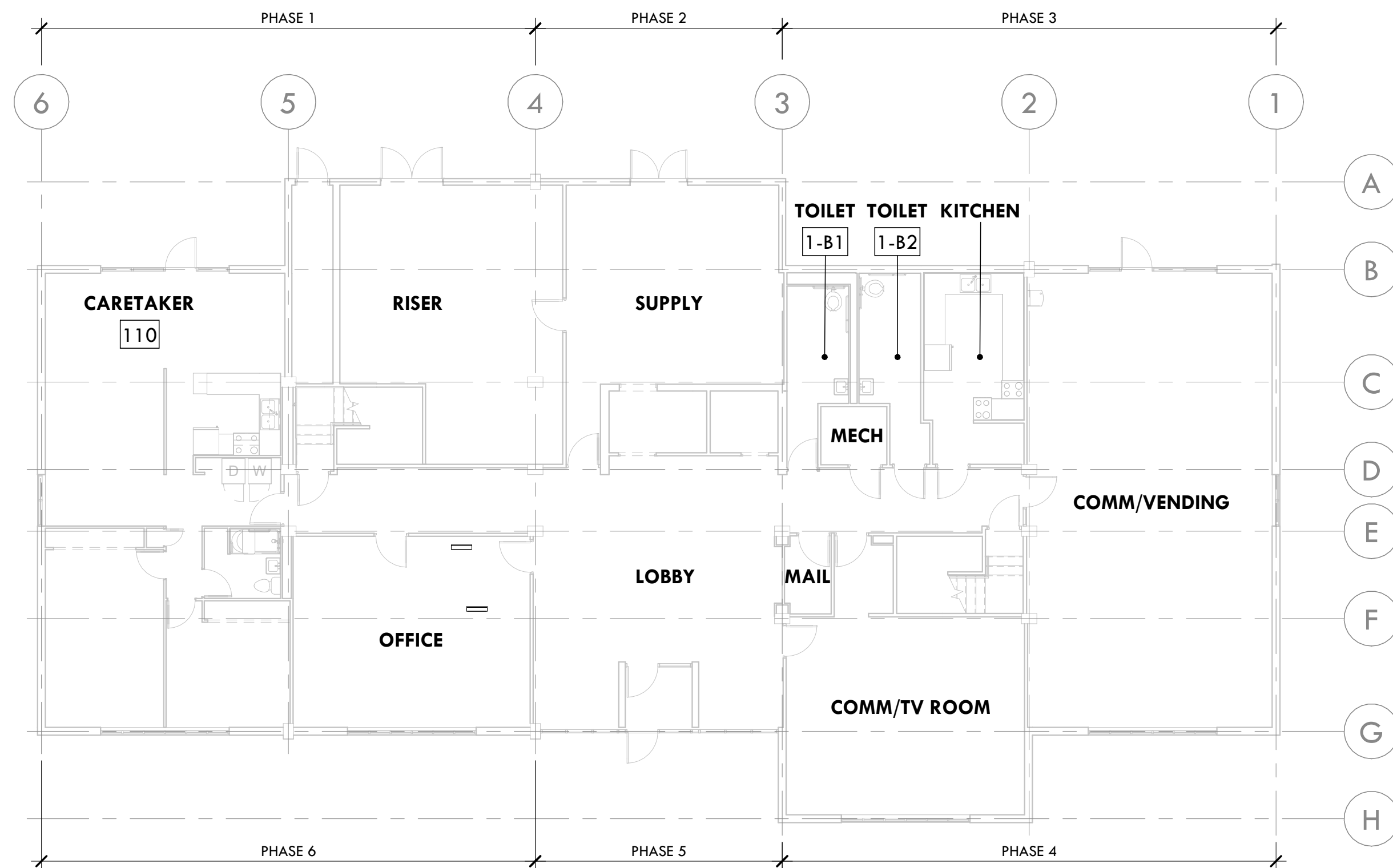
4 ROOF PHASING OVERALL PLAN
3/32" = 1'-0"



3 TYPICAL 3RD-10TH FLOORS PHASING OVERALL PLAN
3/32" = 1'-0"



2 2ND FLOOR PHASING OVERALL PLAN
3/32" = 1'-0"



1 1ST FLOOR PHASING OVERALL PLAN
3/32" = 1'-0"

ACCESS PANEL TYPES	
1	ACCESS PANEL TYPE 1 (22"x22")
2	ACCESS PANEL TYPE 2 (16"x16")

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of MINNESOTA.
sign date 08/03/2026
JAMES L. MOY 27036
reg. no.

James L. Moy

ISSUES / REVISIONS
08/03/2026 100% CD Bid Set

EXISTING CONDITIONS
VERIFY ALL EXISTING CONSTRUCTION DIMENSIONS, ELEVATIONS AND CONDITIONS BEFORE STARTING ANY CONSTRUCTION. REVIEW ANY DISCREPANCIES WITH THE ARCHITECT. ADJUST NEW CONSTRUCTION AS REQUIRED.

Empire Apartments

54 4th Ave. N.
St. Cloud, MN 56303

B/A PROJECT NUMBER: **625-47**
PHASING PLANS - OVERALL

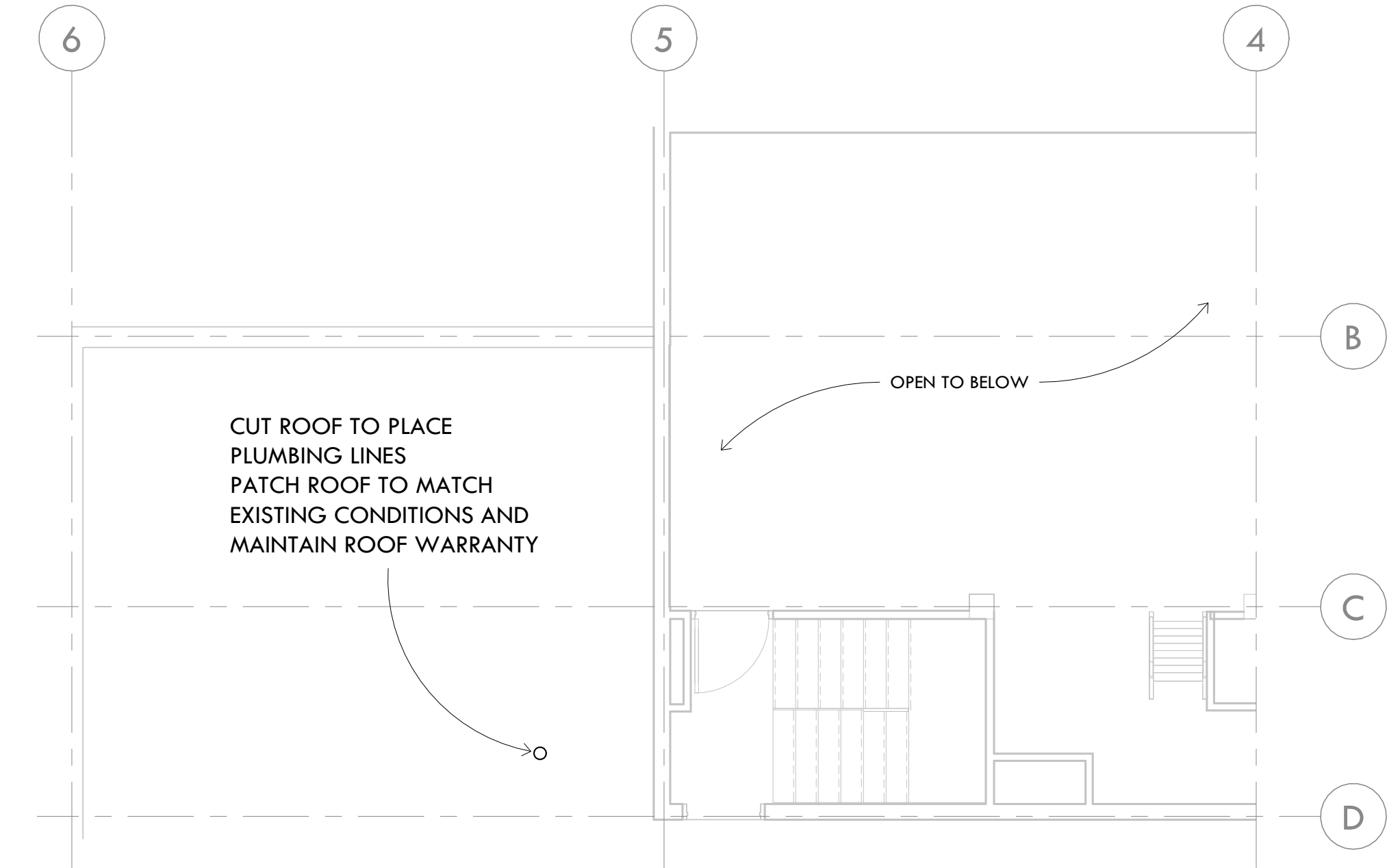
A100



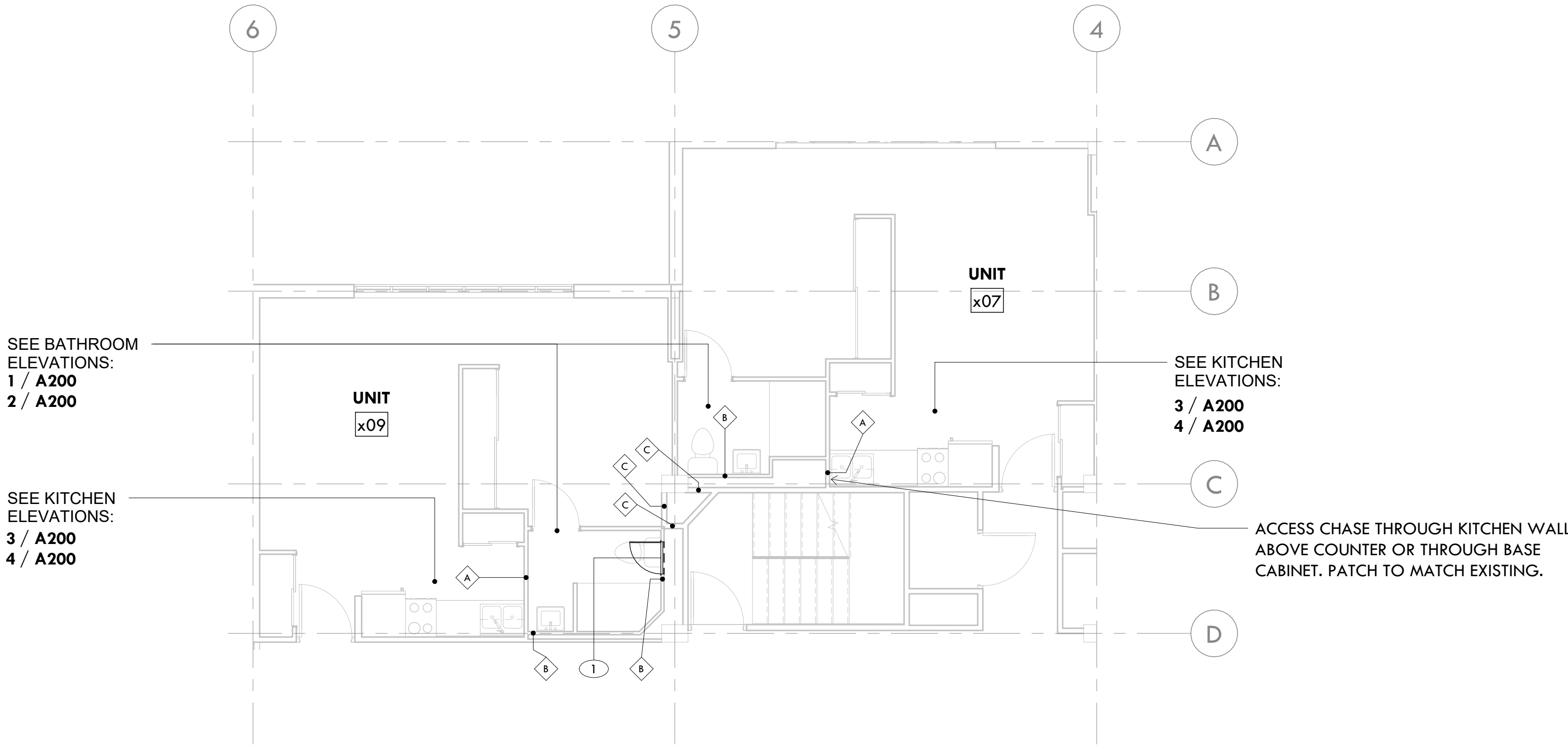
**Blumentals
Architecture**

1600 Marshall Street NE, Suite 1
Minneapolis, MN 55413
612/331-2222
info@blumentals.com

PHASE 1
18 UNITS TOTAL



4 ROOF-PHASING PLAN-PHASE 1
3/16" = 1'-0"



3 TYPICAL FLOOR (3-10) - PHASE 1
3/16" = 1'-0"

PHASING NARRATIVE

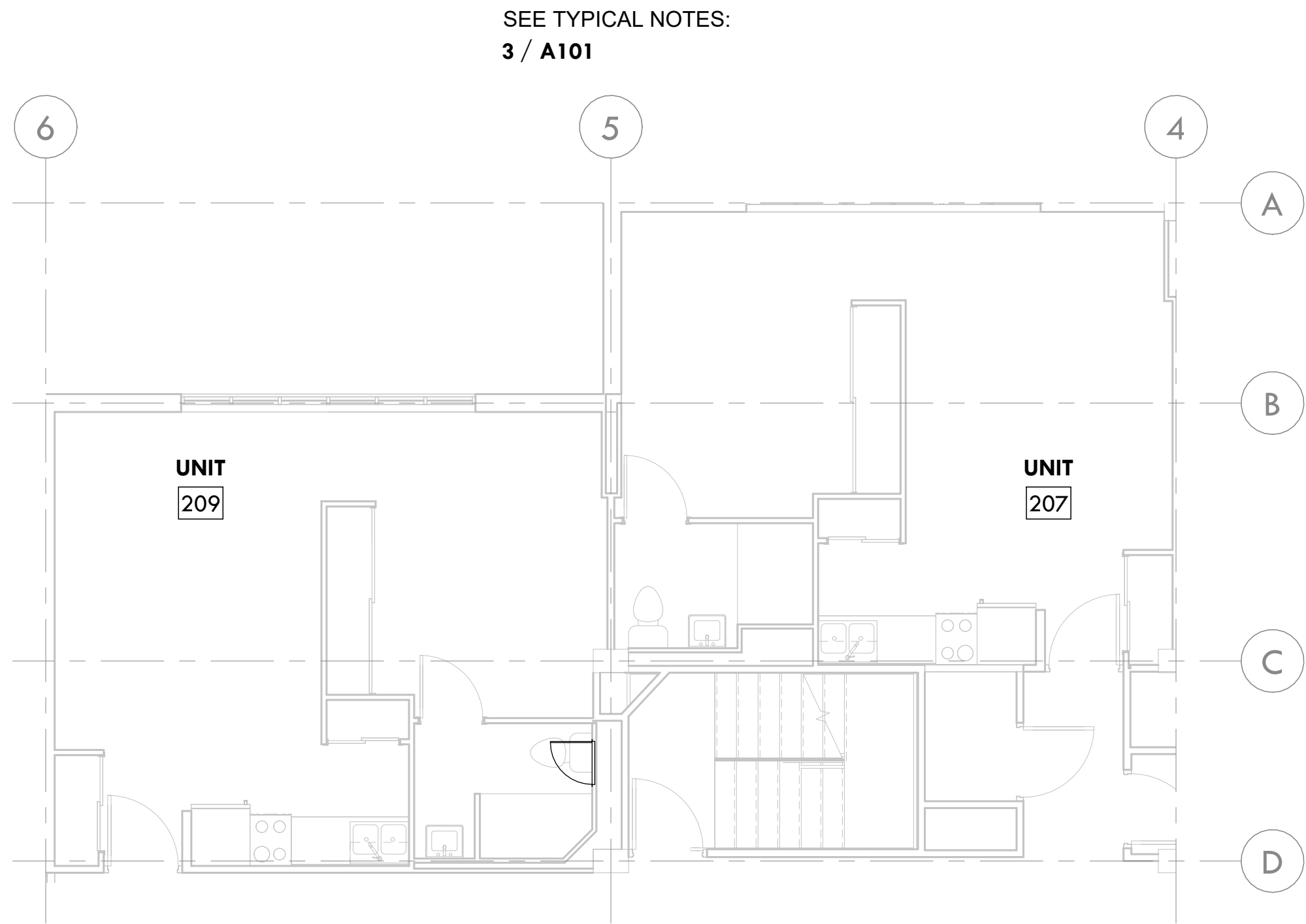
- GENERAL NOTES:**
- ASBESTOS ABATEMENT ON PIPE WRAP TO BE COMPLETED WITH DEMOLITION OF WATER AND SEWER LINES
 - SEE PROJECT MANUAL FOR ASBESTOS AND LEAD REPORTS
 - ISOLATE THE WORK AREA FROM THE REST OF THE UNIT
 - TENANTS PROPERTY WILL REMAIN ON NON WORK-SIDE OF ENCLOSURE
 - FINAL CLEANING AFTER WORK IS COMPLETE IN EACH UNIT
 - EXISTING CONCRETE FLOORS (2-10) AND ROOF DECK HAVE PRESTRESSED TENDONS
 - ANY CUTS TO CONCRETE FLOORS AND DECK MUST BE SCANNED PRIOR TO WORK
 - UNIT NUMBERS 3XX CORRESPOND WITH THE THIRD FLOOR. THE FIRST DIGIT WILL CHANGE TO MATCH TYPICAL FLOORS 4-10.
 - FIRE CAULK ALL GYP SHAFT WALL OPENINGS AND PENETRATIONS.

- PER PHASE NOTES:**
- ACCESS PANELS AND WALL PATCHES**
- REFERENCE PHASING PLANS FOR TYPES AND LOCATIONS. ACCESS PANELS ARE TO BE INSTALLED FLUSH WITH A MUDDED FRAME.

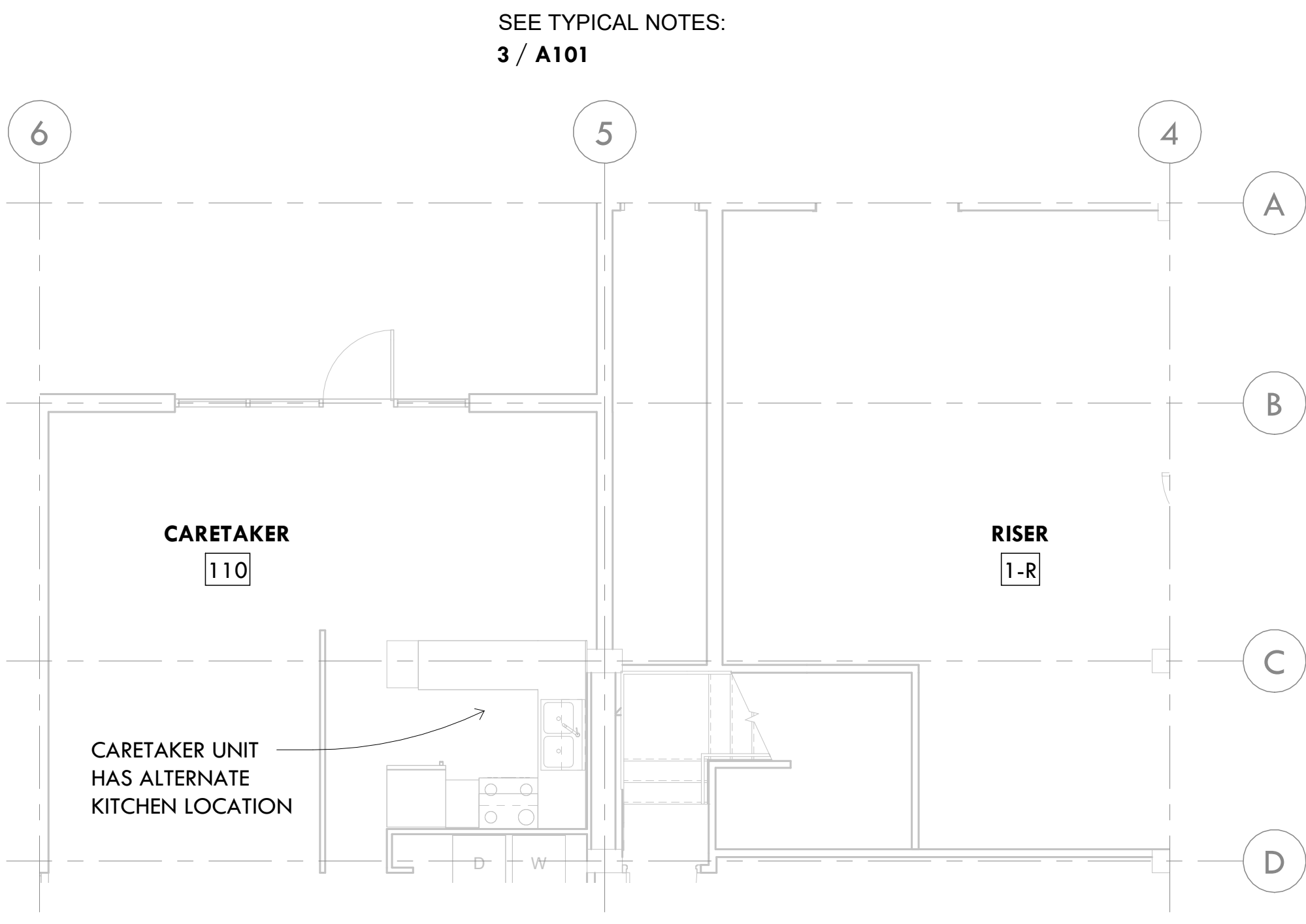
- KITCHEN**
- EACH KITCHEN SHALL HAVE (2) HOLES CUT INTO THE MECHANICAL WALL BEHIND THE SINK TO COMPLETE PLUMBING WORK
 - (1) BEHIND THE BASE CABINET BELOW THE SINK
 - COMPLETE PLUMBING WORK
 - PATCH THE WALL TO MATCH EXISTING
 - (1) BEHIND THE UPPER CABINET ABOVE THE SINK
 - COMPLETE PLUMBING WORK
 - PATCH THE WALL TO MATCH EXISTING
 - CABINETS SHALL REMAIN IN PLACE
 - CONTRACTOR MAY COMPLETE WORK FROM ONE SIDE OF PARTY WALL TO COMPLETE WORK FOR ADJACENT UNIT WHERE POSSIBLE

- BATHROOM**
- EACH BATHROOM SHALL HAVE (4) HOLES CUT INTO THE MECHANICAL WALLS AND SOFFITS
 - CUT INTO THE WALL UNDER THE SINK
 - COMPLETE PLUMBING WORK
 - PATCH THE WALL TO MATCH EXISTING
 - CUT INTO THE WALL BEHIND THE TOILET
 - REMOVE & REPLACE WALL BASE
 - COMPLETE PLUMBING WORK
 - PATCH THE WALL TO MATCH EXISTING
 - CUT INTO THE SOFFIT ABOVE THE TOILET TO ACCESS THE DRAIN/CONNECTION OF THE UNIT ABOVE
 - COMPLETE PLUMBING WORK
 - PATCH THE WALL TO MATCH EXISTING
 - CUT INTO THE SOFFIT ABOVE THE SHOWER TO ACCESS THE DRAIN/CONNECTION OF THE UNIT ABOVE
 - COMPLETE PLUMBING WORK
 - PATCH THE WALL TO MATCH EXISTING
 - CONTRACTOR MAY COMPLETE WORK FROM ONE SIDE OF PARTY WALL TO COMPLETE WORK FOR ADJACENT UNIT WHERE POSSIBLE

ACCESS PANEL TYPES	
1	ACCESS PANEL TYPE 1 (22"x22")
2	ACCESS PANEL TYPE 2 (16"x16")



2 SECOND FLOOR - PHASE 1
3/16" = 1'-0"



1 FIRST FLOOR - PHASE 1
3/16" = 1'-0"

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of

MINNESOTA	08/03/2026
	sign date
JAMES L. MOY	27036
	reg. no.

James L. Moy

ISSUES / REVISIONS
08/03/2026 100% CD Bid Set

EXISTING CONDITIONS

VERIFY ALL EXISTING CONSTRUCTION DIMENSIONS, ELEVATIONS AND CONDITIONS BEFORE STARTING ANY CONSTRUCTION. REVIEW ANY DISCREPANCIES WITH THE ARCHITECT. ADJUST NEW CONSTRUCTION AS REQUIRED.

Empire Apartments

54 4th Ave. N.
St. Cloud, MN 56303

B/A PROJECT NUMBER: **625-47**
PHASING PLANS - PHASE 1

A101

PHASING NARRATIVE

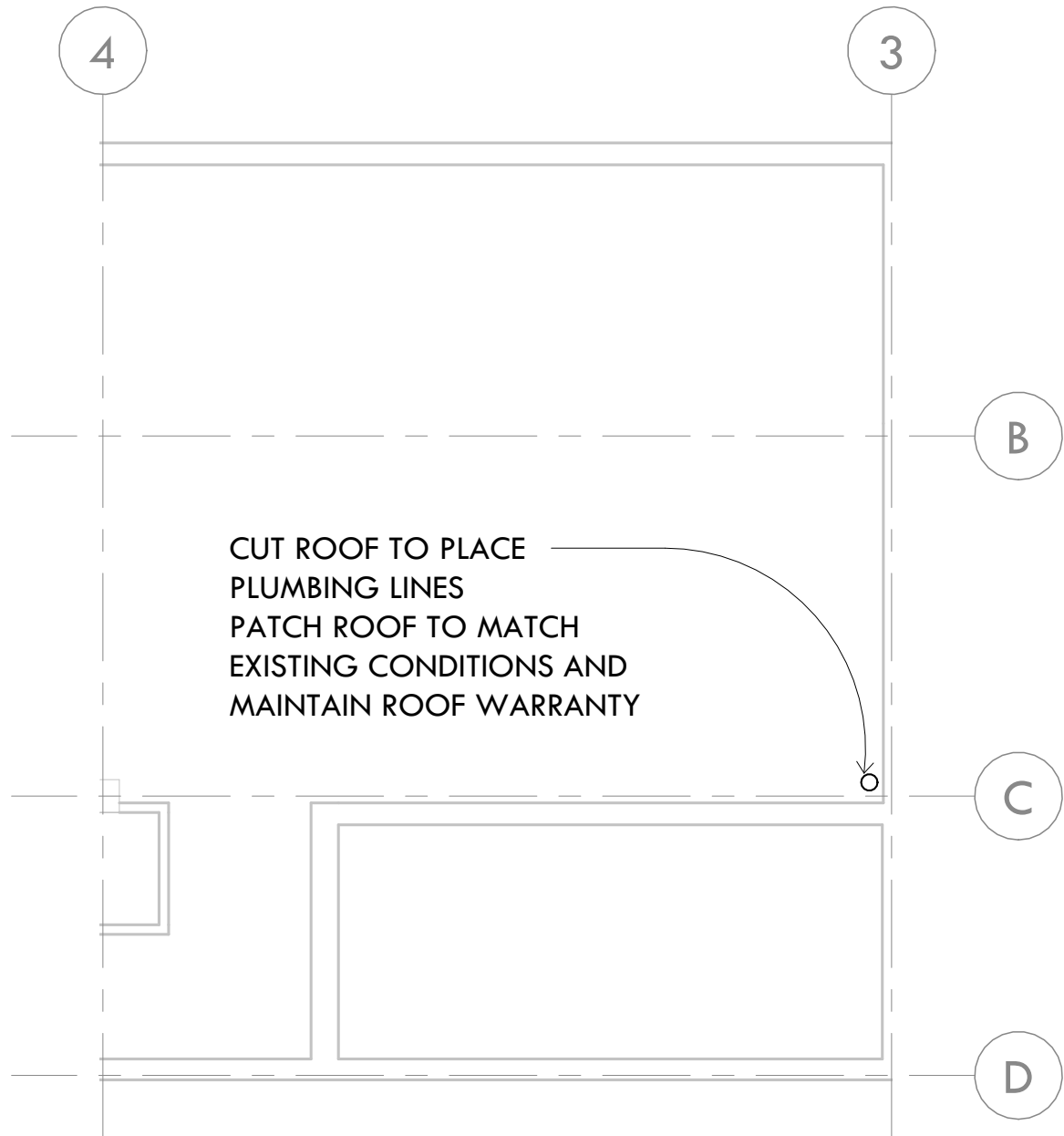
- GENERAL NOTES:**
- ASBESTOS ABATEMENT ON PIPE WRAP TO BE COMPLETED WITH DEMOLITION OF WATER AND SEWER LINES
 - SEE PROJECT MANUAL FOR ASBESTOS AND LEAD REPORTS
 - ISOLATE THE WORK AREA FROM THE REST OF THE UNIT
 - TENANTS PROPERTY WILL REMAIN ON NON WORK-SIDE OF ENCLOSURE
 - FINAL CLEANING AFTER WORK IS COMPLETE IN EACH UNIT
 - EXISTING CONCRETE FLOORS (2-10) AND ROOF DECK HAVE PRESTRESSED TENDONS
 - ANY CUTS TO CONCRETE FLOORS AND DECK MUST BE SCANNED PRIOR TO WORK
 - UNIT NUMBERS 3XX CORRESPOND WITH THE THIRD FLOOR. THE FIRST DIGIT WILL CHANGE TO MATCH TYPICAL FLOORS 4-10.
 - FIRE CAULK ALL GYP SHAFT WALL OPENINGS AND PENETRATIONS.

- PER PHASE NOTES:**
- ACCESS PANELS AND WALL PATCHES**
- REFERENCE PHASING PLANS FOR TYPES AND LOCATIONS. ACCESS PANELS ARE TO BE INSTALLED FLUSH WITH A MUDDED FRAME.

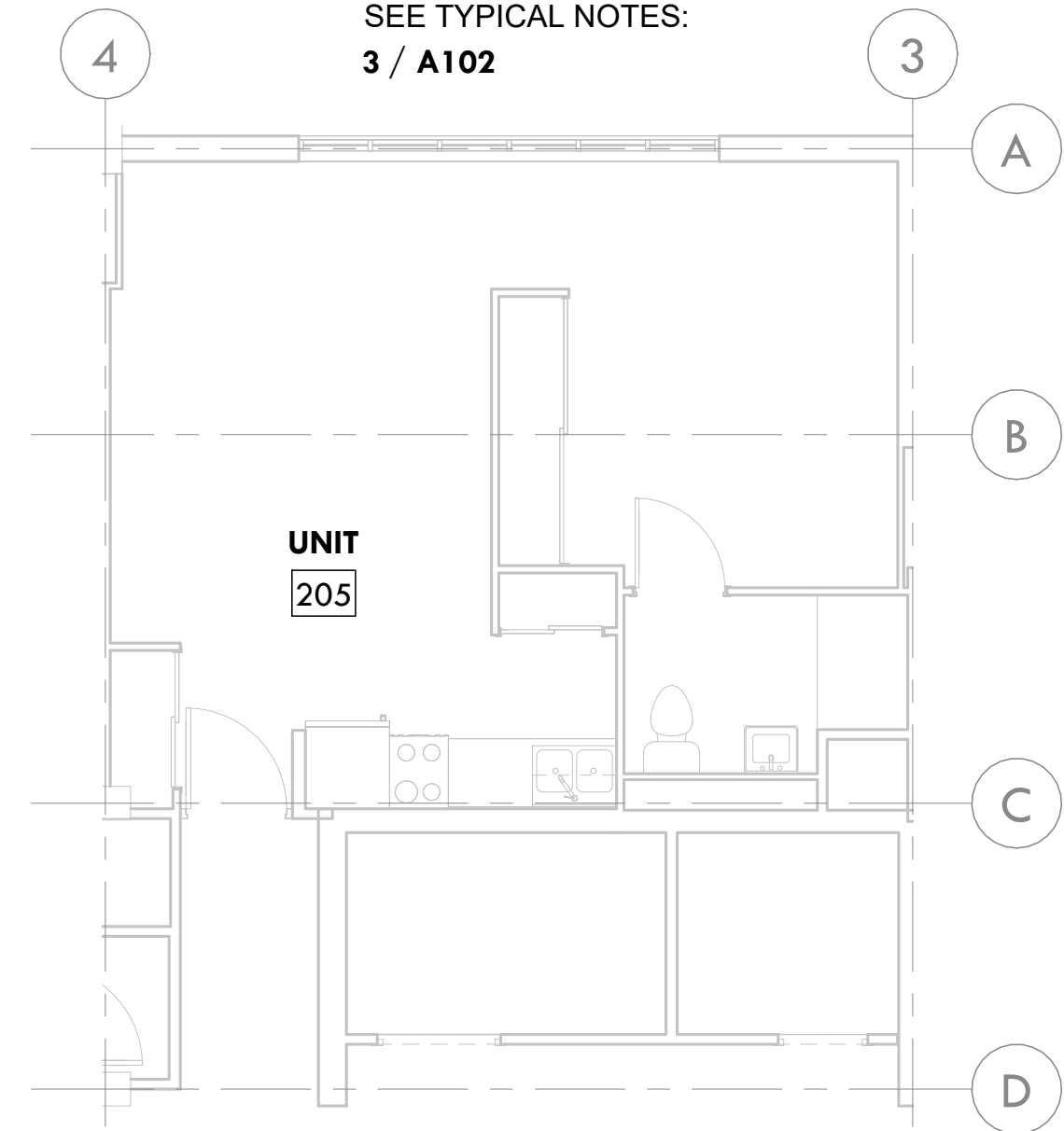
- KITCHEN**
- EACH KITCHEN SHALL HAVE (2) HOLES CUT INTO THE MECHANICAL WALL BEHIND THE SINK TO COMPLETE PLUMBING WORK
 - BEHIND THE BASE CABINET BELOW THE SINK
 - COMPLETE PLUMBING WORK
 - PATCH THE WALL TO MATCH EXISTING
 - BEHIND THE UPPER CABINET ABOVE THE SINK
 - COMPLETE PLUMBING WORK
 - PATCH THE WALL TO MATCH EXISTING
 - CABINETS SHALL REMAIN IN PLACE
 - CONTRACTOR MAY COMPLETE WORK FROM ONE SIDE OF PARTY WALL TO COMPLETE WORK FOR ADJACENT UNIT WHERE POSSIBLE

- BATHROOM**
- EACH BATHROOM SHALL HAVE (4) HOLES CUT INTO THE MECHANICAL WALLS AND SOFFITS
 - CUT INTO THE WALL UNDER THE SINK
 - COMPLETE PLUMBING WORK
 - PATCH THE WALL TO MATCH EXISTING
 - CUT INTO THE WALL BEHIND THE TOILET
 - REMOVE & REPLACE WALL BASE
 - COMPLETE PLUMBING WORK
 - PATCH THE WALL TO MATCH EXISTING
 - CUT INTO THE SOFFIT ABOVE THE TOILET TO ACCESS THE DRAIN/CONNECTION OF THE UNIT ABOVE
 - COMPLETE PLUMBING WORK
 - PATCH THE WALL TO MATCH EXISTING
 - CUT INTO THE SOFFIT ABOVE THE SHOWER TO ACCESS THE DRAIN/CONNECTION OF THE UNIT ABOVE
 - COMPLETE PLUMBING WORK
 - PATCH THE WALL TO MATCH EXISTING
 - CONTRACTOR MAY COMPLETE WORK FROM ONE SIDE OF PARTY WALL TO COMPLETE WORK FOR ADJACENT UNIT WHERE POSSIBLE

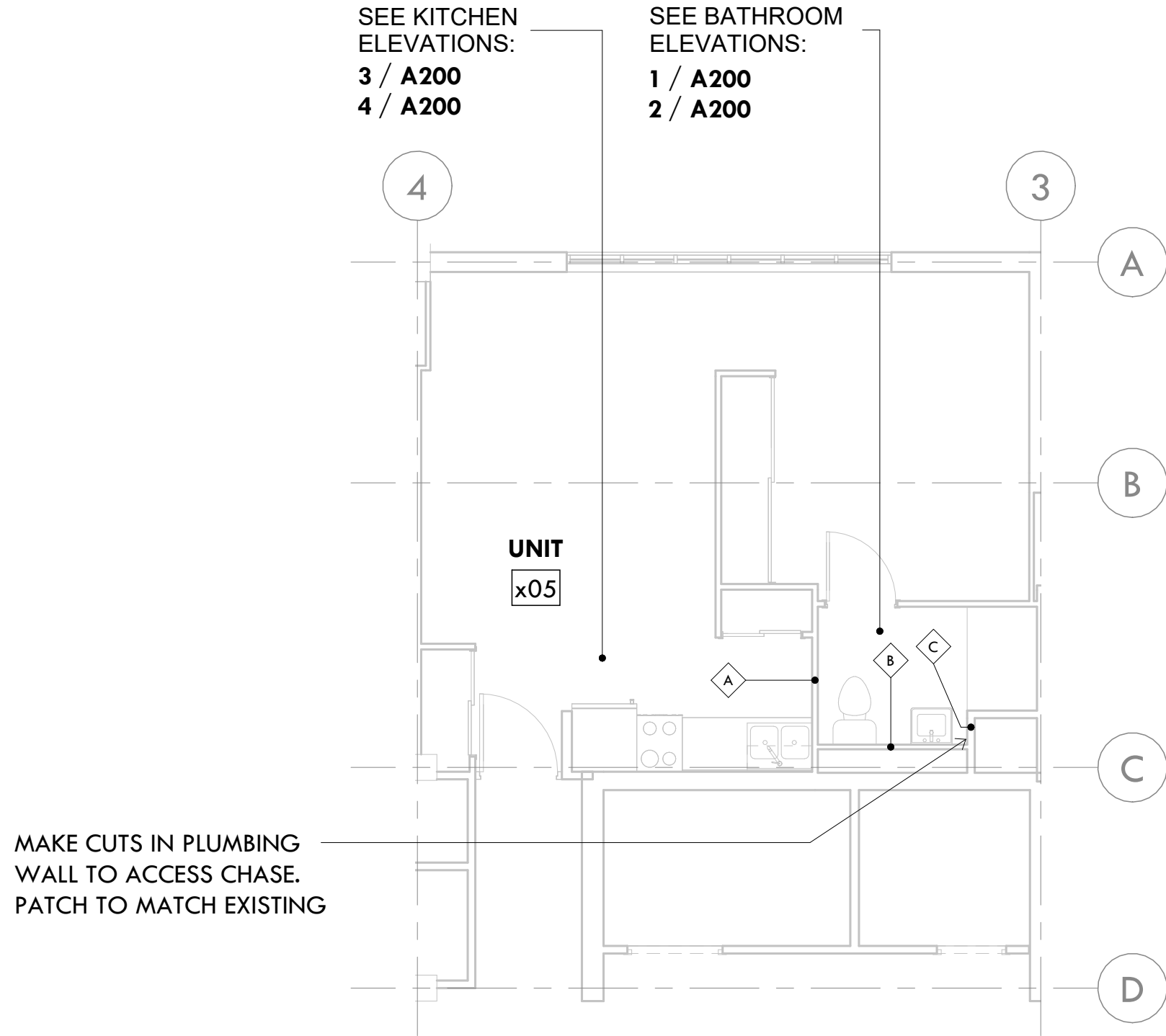
ACCESS PANEL TYPES	
1	ACCESS PANEL TYPE 1 (22"x22")
2	ACCESS PANEL TYPE 2 (16"x16")



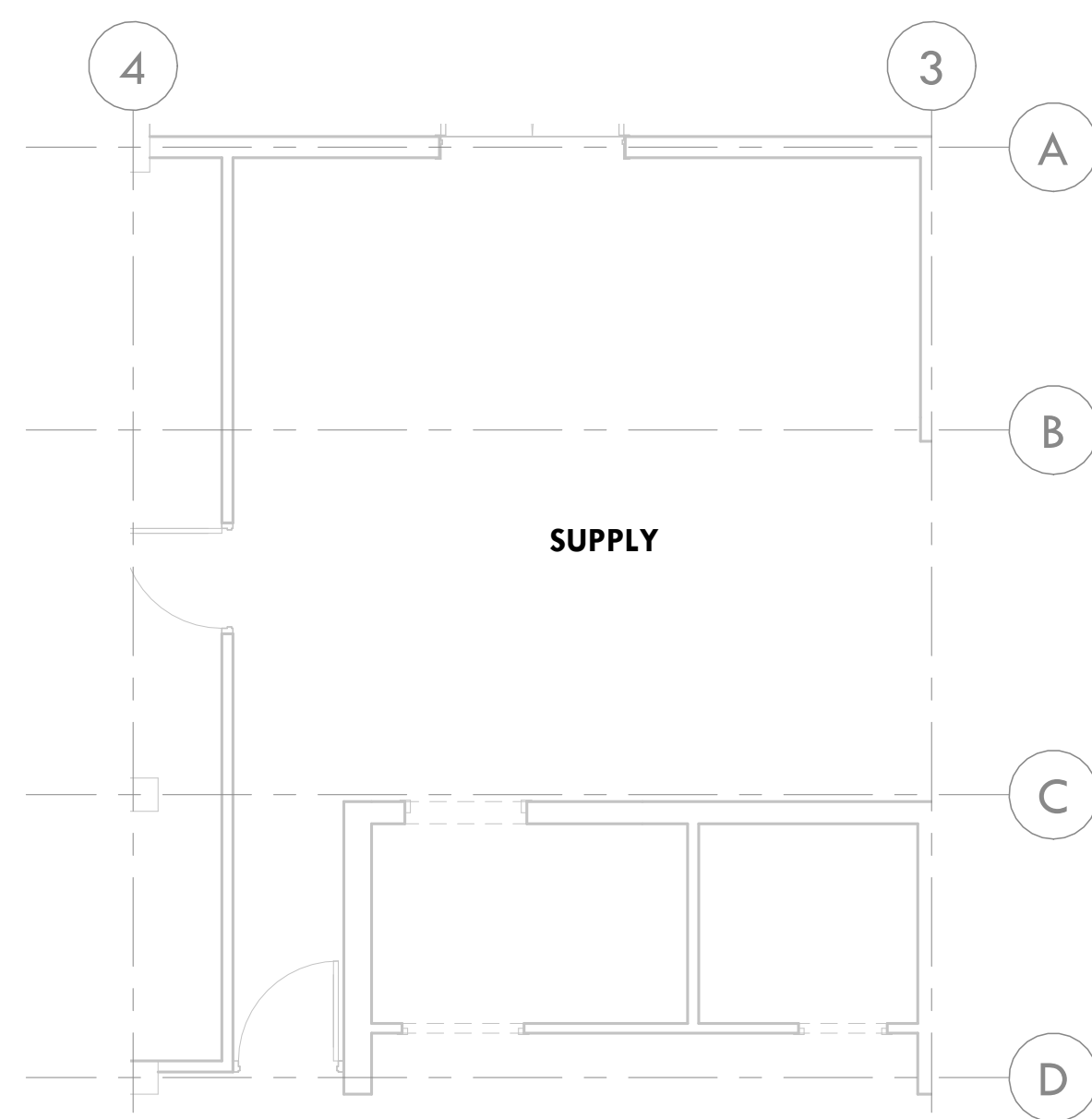
4 PENTHOUSE - PHASE 2
3/16" = 1'-0"



2 SECOND FLOOR - PHASE 2
3/16" = 1'-0"



3 TYPICAL FLOOR (3-10) - PHASE 2
3/16" = 1'-0"



1 FIRST FLOOR - PHASE 2
3/16" = 1'-0"

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of

MINNESOTA	08/03/2026
	sign date
JAMES L. MOY	27036
	reg. no.

James L. Moy

△ ISSUES / REVISIONS
08/03/2026 100% CD Bid Set

EXISTING CONDITIONS

VERIFY ALL EXISTING CONSTRUCTION DIMENSIONS, ELEVATIONS AND CONDITIONS BEFORE STARTING ANY CONSTRUCTION. REVIEW ANY DISCREPANCIES WITH THE ARCHITECT. ADJUST NEW CONSTRUCTION AS REQUIRED.

Empire Apartments

54 4th Ave. N.
St. Cloud, MN 56303

B/A PROJECT NUMBER: 625-47
PHASING PLANS - PHASE 2

7/31/2026 3:19:03 PM

PHASE 3
18 UNITS TOTAL

B

A

Blumentals
Architecture

1600 Marshall Street NE, Suite 1
Minneapolis, MN 55413
612/331-2222
info@blumentals.com

PHASING NARRATIVE

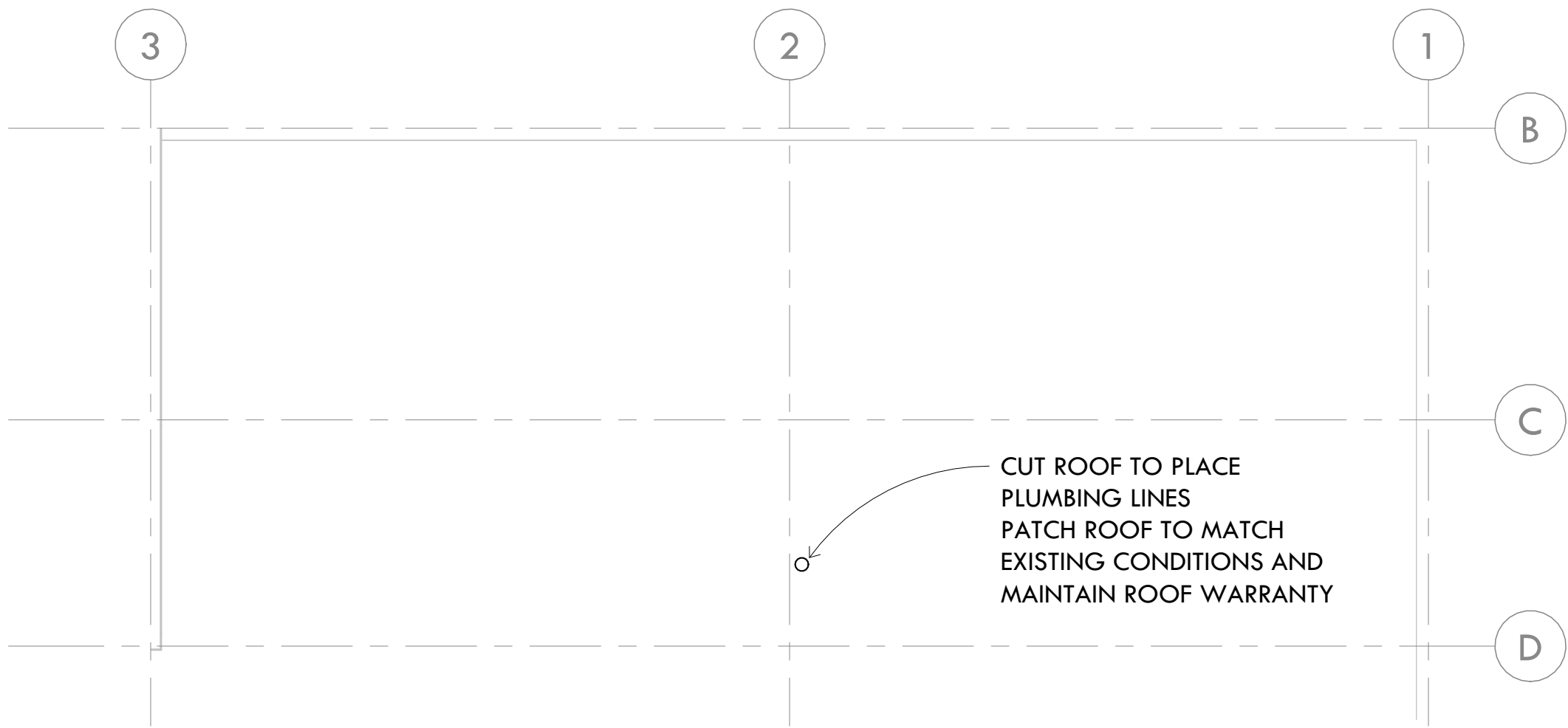
- GENERAL NOTES:**
- ASBESTOS ABATEMENT ON PIPE WRAP TO BE COMPLETED WITH DEMOLITION OF WATER AND SEWER LINES
 - SEE PROJECT MANUAL FOR ASBESTOS AND LEAD REPORTS
 - ISOLATE THE WORK AREA FROM THE REST OF THE UNIT
 - TENANTS PROPERTY WILL REMAIN ON NON WORK-SIDE OF ENCLOSURE
 - FINAL CLEANING AFTER WORK IS COMPLETE IN EACH UNIT
 - EXISTING CONCRETE FLOORS (2-10) AND ROOF DECK HAVE PRESTRESSED TENDONS
 - ANY CUTS TO CONCRETE FLOORS AND DECK MUST BE SCANNED PRIOR TO WORK
 - UNIT NUMBERS 3XX CORRESPOND WITH THE THIRD FLOOR. THE FIRST DIGIT WILL CHANGE TO MATCH TYPICAL FLOORS 4-10.
 - FIRE CAULK ALL GYP SHAFT WALL OPENINGS AND PENETRATIONS.

- PER PHASE NOTES:**
- ACCESS PANELS AND WALL PATCHES**
- REFERENCE PHASING PLANS FOR TYPES AND LOCATIONS. ACCESS PANELS ARE TO BE INSTALLED FLUSH WITH A MUDDED FRAME.

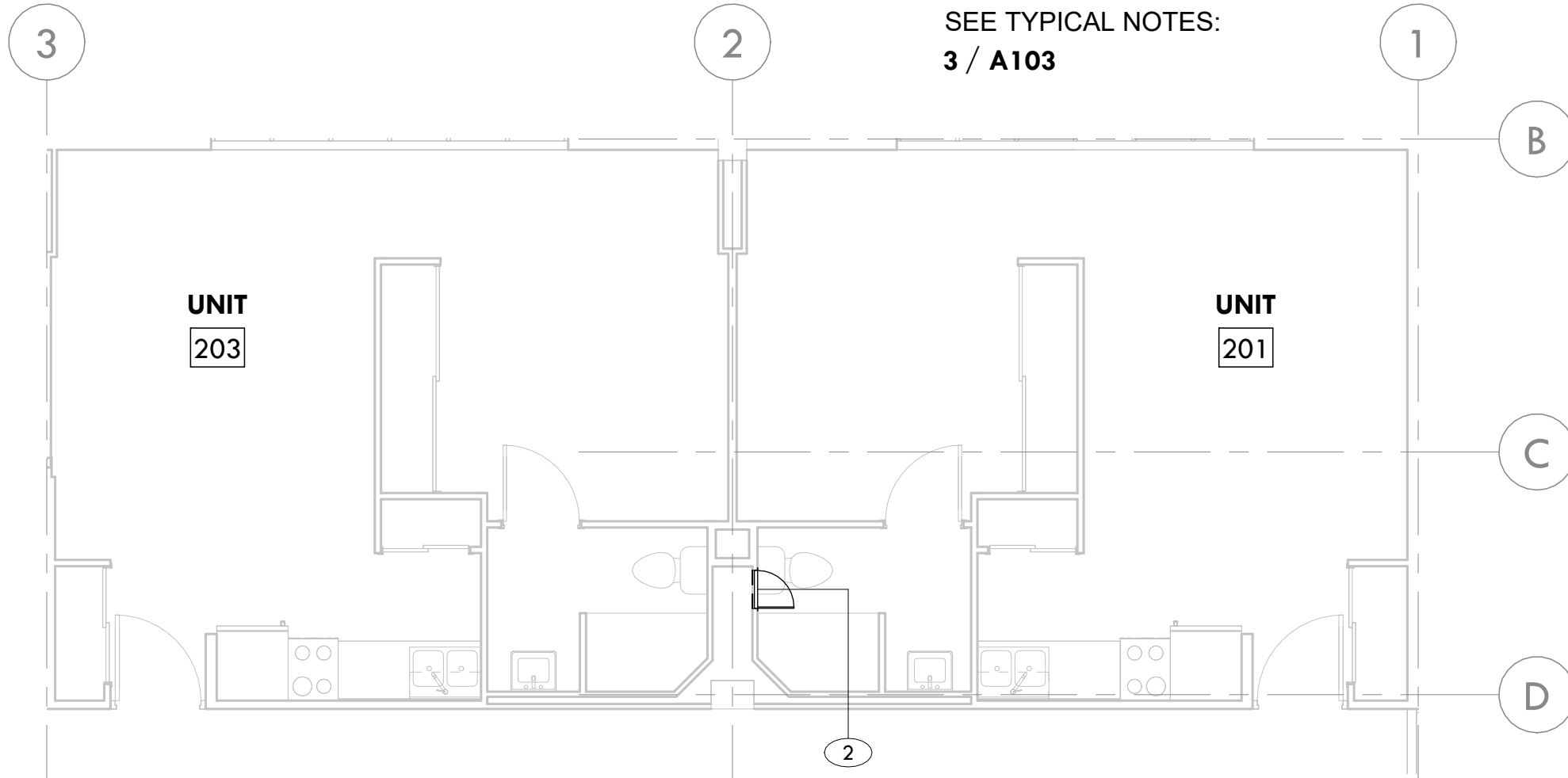
- KITCHEN**
- EACH KITCHEN SHALL HAVE (2) HOLES CUT INTO THE MECHANICAL WALL BEHIND THE SINK TO COMPLETE PLUMBING WORK
 - (1) BEHIND THE BASE CABINET BELOW THE SINK
 - COMPLETE PLUMBING WORK
 - PATCH THE WALL TO MATCH EXISTING
 - (1) BEHIND THE UPPER CABINET ABOVE THE SINK
 - COMPLETE PLUMBING WORK
 - PATCH THE WALL TO MATCH EXISTING
 - CABINETS SHALL REMAIN IN PLACE
 - CONTRACTOR MAY COMPLETE WORK FROM ONE SIDE OF PARTY WALL TO COMPLETE WORK FOR ADJACENT UNIT WHERE POSSIBLE

- BATHROOM**
- EACH BATHROOM SHALL HAVE (4) HOLES CUT INTO THE MECHANICAL WALLS AND SOFFITS
 - CUT INTO THE WALL UNDER THE SINK
 - COMPLETE PLUMBING WORK
 - PATCH THE WALL TO MATCH EXISTING
 - CUT INTO THE WALL BEHIND THE TOILET
 - REMOVE & REPLACE WALL BASE
 - COMPLETE PLUMBING WORK
 - PATCH THE WALL TO MATCH EXISTING
 - CUT INTO THE SOFFIT ABOVE THE TOILET TO ACCESS THE DRAIN/CONNECTION OF THE UNIT ABOVE
 - COMPLETE PLUMBING WORK
 - PATCH THE WALL TO MATCH EXISTING
 - CUT INTO THE SOFFIT ABOVE THE SHOWER TO ACCESS THE DRAIN/CONNECTION OF THE UNIT ABOVE
 - COMPLETE PLUMBING WORK
 - PATCH THE WALL TO MATCH EXISTING
 - CONTRACTOR MAY COMPLETE WORK FROM ONE SIDE OF PARTY WALL TO COMPLETE WORK FOR ADJACENT UNIT WHERE POSSIBLE

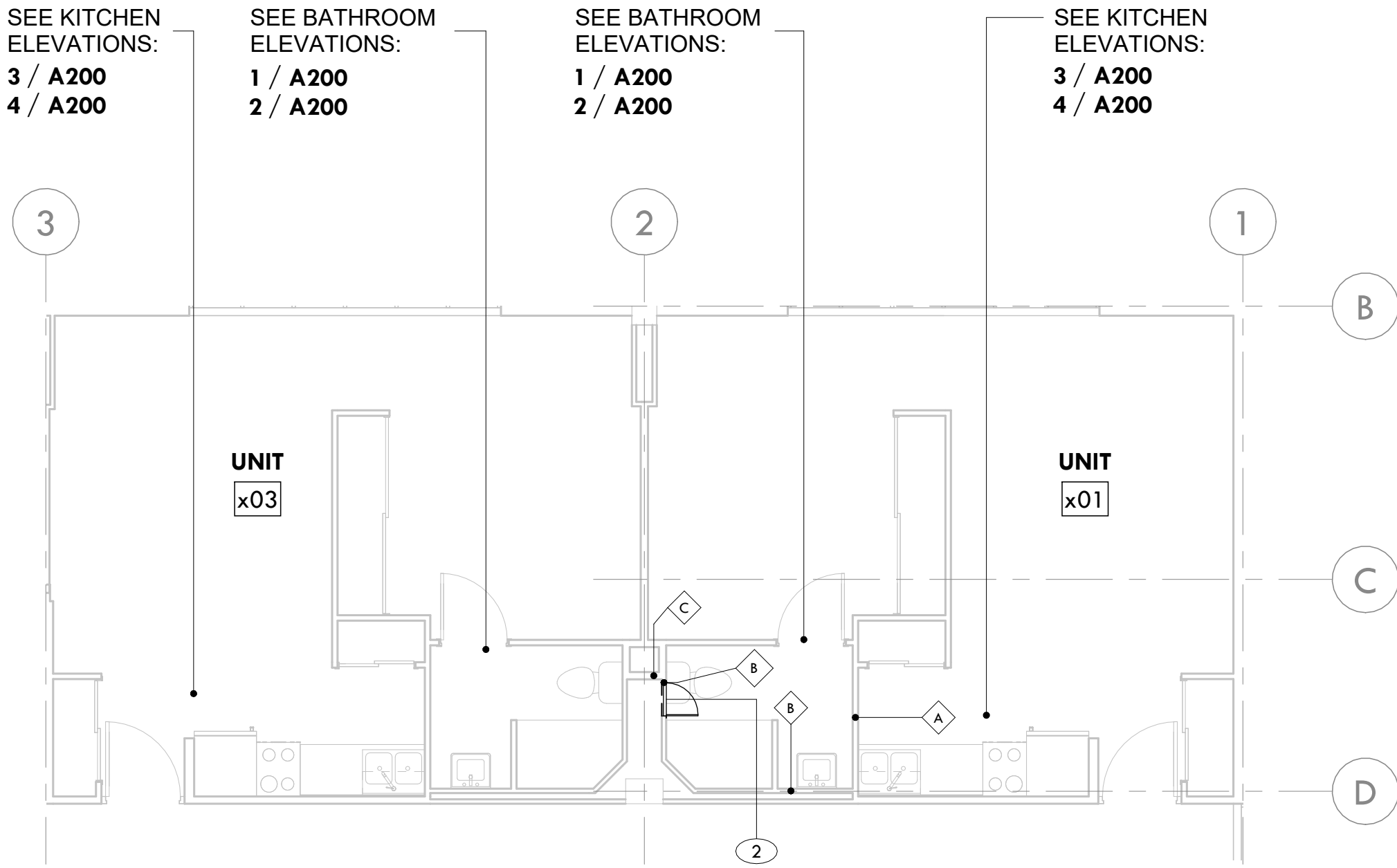
ACCESS PANEL TYPES	
1	ACCESS PANEL TYPE 1 (22"x22")
2	ACCESS PANEL TYPE 2 (16"x16")



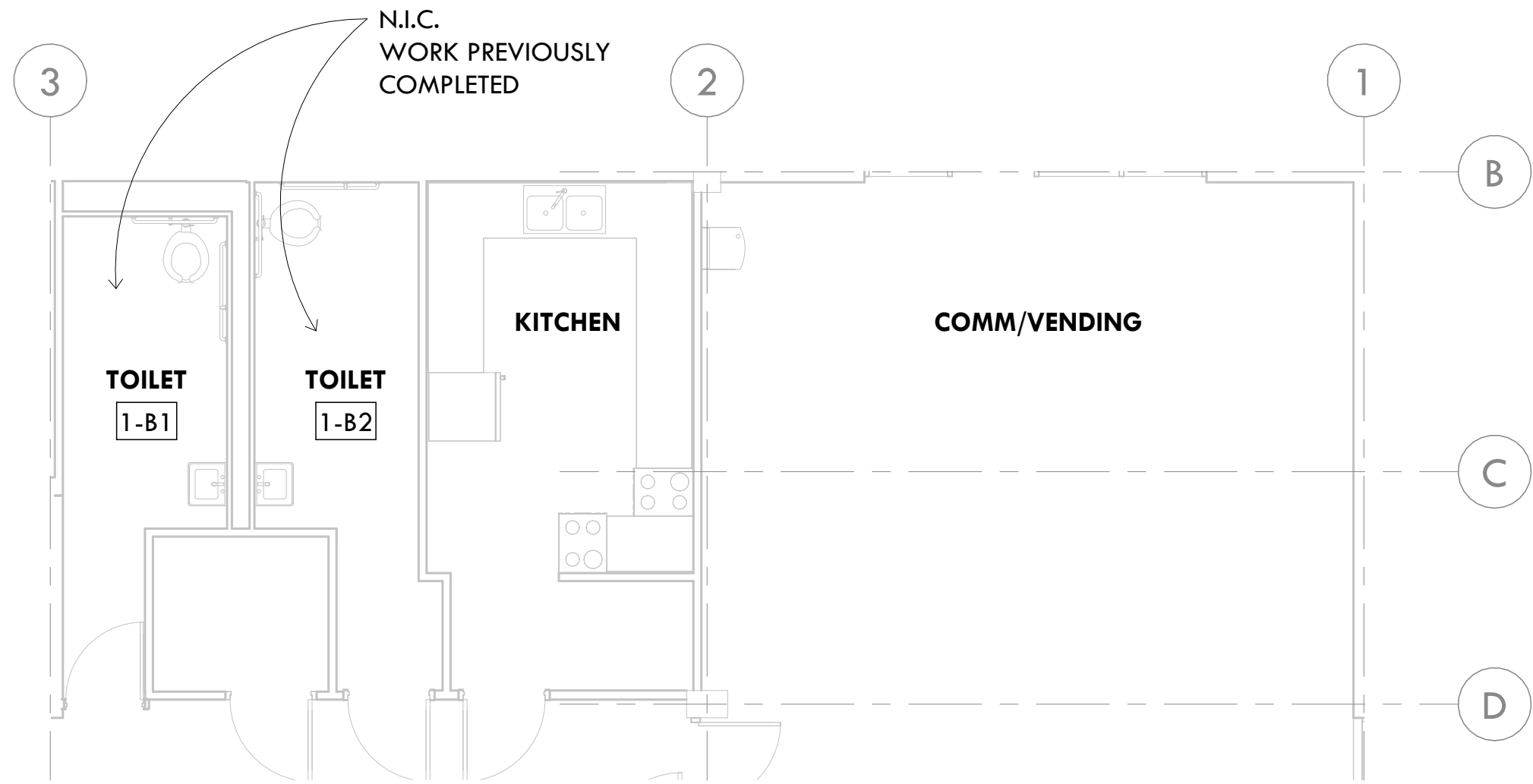
4 ROOF-PHASING PLAN-PHASE 3
3/16" = 1'-0"



2 SECOND FLOOR - PHASE 3
3/16" = 1'-0"



3 TYPICAL FLOOR (3-10) - PHASE 3
3/16" = 1'-0"



1 FIRST FLOOR - PHASE 3
3/16" = 1'-0"

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of

MINNESOTA	08/03/2026
	sign date
JAMES L. MOY	27036
	reg. no.

James L. Moy

△ ISSUES / REVISIONS
08/03/2026 100% CD Bid Set

EXISTING CONDITIONS

VERIFY ALL EXISTING CONSTRUCTION DIMENSIONS, ELEVATIONS AND CONDITIONS BEFORE STARTING ANY CONSTRUCTION. REVIEW ANY DISCREPANCIES WITH THE ARCHITECT. ADJUST NEW CONSTRUCTION AS REQUIRED.

Empire Apartments

54 4th Ave. N.
St. Cloud, MN 56303

B/A PROJECT NUMBER: 625-47
PHASING PLANS - PHASE 3

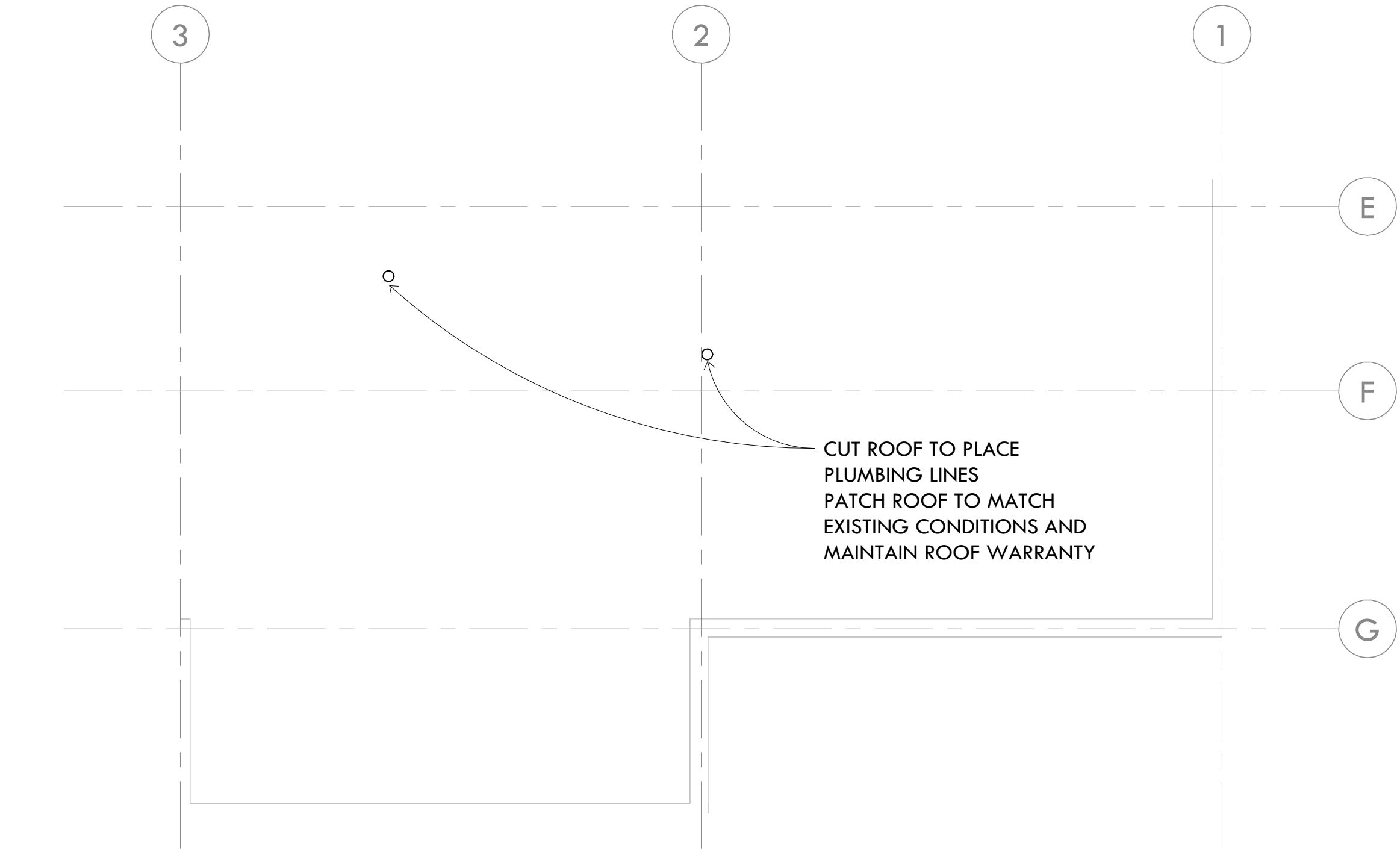
A103



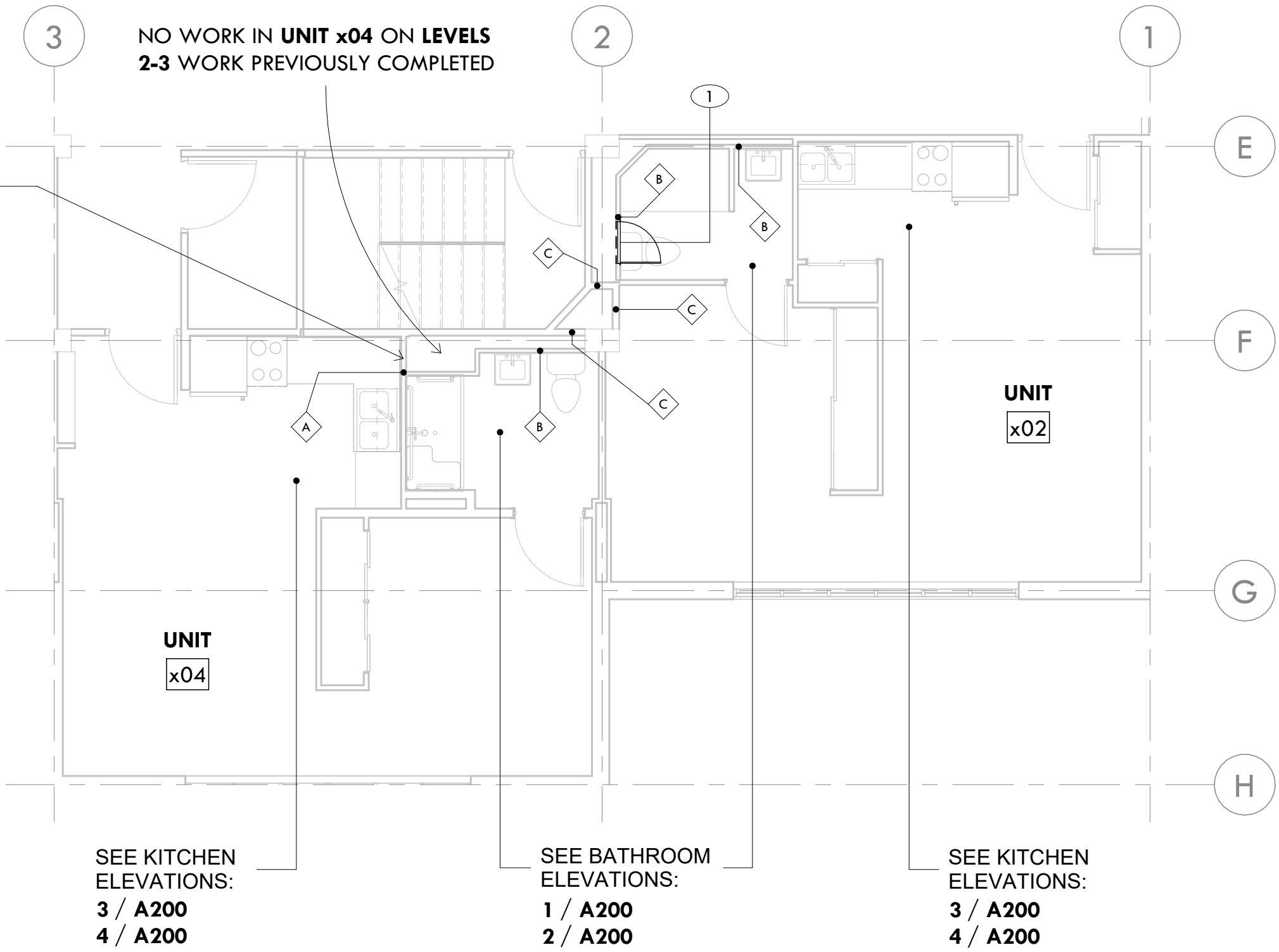
Blumentals
Architecture

1600 Marshall Street NE, Suite 1
Minneapolis, MN 55413
612/331-2222
info@blumentals.com

PHASE 4
18 UNITS TOTAL



4 ROOF-PHASING PLAN-PHASE 4
3/16" = 1'-0"



3 TYPICAL FLOOR (3-10) - PHASE 4
3/16" = 1'-0"

PHASING NARRATIVE

GENERAL NOTES:

- ASBESTOS ABATEMENT ON PIPE WRAP TO BE COMPLETED WITH DEMOLITION OF WATER AND SEWER LINES
- SEE PROJECT MANUAL FOR ASBESTOS AND LEAD REPORTS
- ISOLATE THE WORK AREA FROM THE REST OF THE UNIT
- FINAL CLEANING AFTER WORK IS COMPLETE IN EACH UNIT
- EXISTING CONCRETE FLOORS (2-10) AND ROOF DECK HAVE PRESTRESSED TENDONS
- ANY CUTS TO CONCRETE FLOORS AND DECK MUST BE SCANNED PRIOR TO WORK
- UNIT NUMBERS 3XX CORRESPOND WITH THE THIRD FLOOR. THE FIRST DIGIT WILL CHANGE TO MATCH TYPICAL FLOORS 4-10.
- FIRE CAULK ALL GYP SHAFT WALL OPENINGS AND PENETRATIONS.

PER PHASE NOTES:

ACCESS PANELS AND WALL PATCHES

- REFERENCE PHASING PLANS FOR TYPES AND LOCATIONS. ACCESS PANELS ARE TO BE INSTALLED FLUSH WITH A MUDDED FRAME.

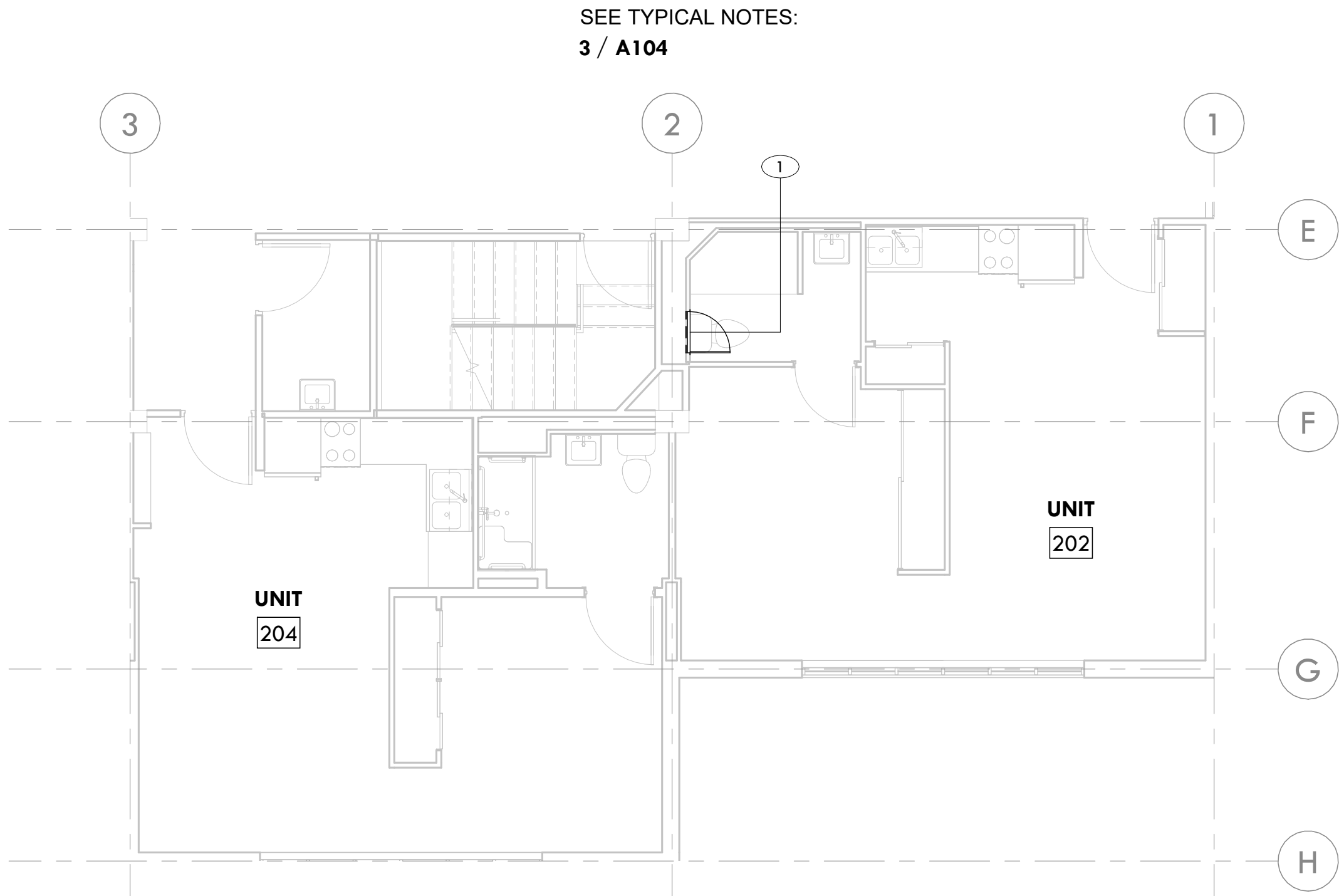
KITCHEN

- EACH KITCHEN SHALL HAVE (2) HOLES CUT INTO THE MECHANICAL WALL BEHIND THE SINK TO COMPLETE PLUMBING WORK
 - (1) BEHIND THE BASE CABINET BELOW THE SINK
 - COMPLETE PLUMBING WORK
 - PATCH THE WALL TO MATCH EXISTING
 - (1) BEHIND THE UPPER CABINET ABOVE THE SINK
 - COMPLETE PLUMBING WORK
 - PATCH THE WALL TO MATCH EXISTING
- CABINETS SHALL REMAIN IN PLACE
- CONTRACTOR MAY COMPLETE WORK FROM ONE SIDE OF PARTY WALL TO COMPLETE WORK FOR ADJACENT UNIT WHERE POSSIBLE

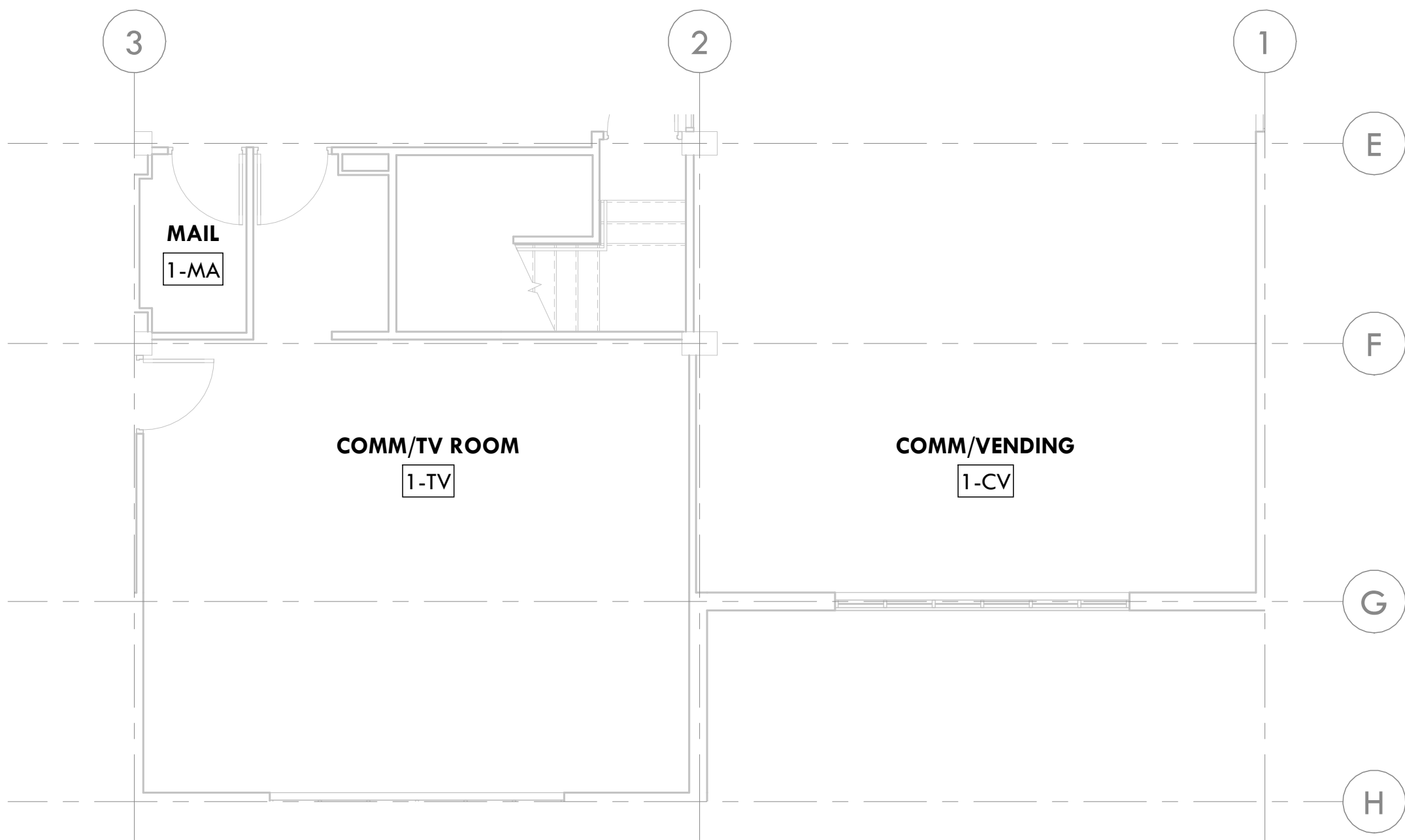
BATHROOM

- EACH BATHROOM SHALL HAVE (4) HOLES CUT INTO THE MECHANICAL WALLS AND SOFFITS
 - CUT INTO THE WALL UNDER THE SINK
 - COMPLETE PLUMBING WORK
 - PATCH THE WALL TO MATCH EXISTING
 - CUT INTO THE WALL BEHIND THE TOILET
 - REMOVE & REPLACE WALL BASE
 - COMPLETE PLUMBING WORK
 - PATCH THE WALL TO MATCH EXISTING
 - CUT INTO THE SOFFIT ABOVE THE TOILET TO ACCESS THE DRAIN/CONNECTION OF THE UNIT ABOVE
 - COMPLETE PLUMBING WORK
 - PATCH THE WALL TO MATCH EXISTING
 - CUT INTO THE SOFFIT ABOVE THE SHOWER TO ACCESS THE DRAIN/CONNECTION OF THE UNIT ABOVE
 - COMPLETE PLUMBING WORK
 - PATCH THE WALL TO MATCH EXISTING
- CONTRACTOR MAY COMPLETE WORK FROM ONE SIDE OF PARTY WALL TO COMPLETE WORK FOR ADJACENT UNIT WHERE POSSIBLE

ACCESS PANEL TYPES	
1	ACCESS PANEL TYPE 1 (22"x22")
2	ACCESS PANEL TYPE 2 (16"x16")



2 SECOND FLOOR - PHASE 4
3/16" = 1'-0"



1 FIRST FLOOR - PHASE 4
3/16" = 1'-0"

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of MINNESOTA

JAMES L. MOY

08/03/2026

sign date

27036

reg. no.

James L. Moy

ISSUES / REVISIONS

08/03/2026 100% CD Bid Set

EXISTING CONDITIONS

VERIFY ALL EXISTING CONSTRUCTION DIMENSIONS, ELEVATIONS AND CONDITIONS BEFORE STARTING ANY CONSTRUCTION. REVIEW ANY DISCREPANCIES WITH THE ARCHITECT. ADJUST NEW CONSTRUCTION AS REQUIRED.

Empire Apartments

54 4th Ave. N.
St. Cloud, MN 56303

B/A PROJECT NUMBER: 625-47

PHASING PLANS - PHASE 4

A104

PHASE 5
8 UNITS TOTAL

B

A

Blumentals
Architecture

1600 Marshall Street NE, Suite 1
Minneapolis, MN 55413
612/331-2222
info@blumentals.com

PHASING NARRATIVE

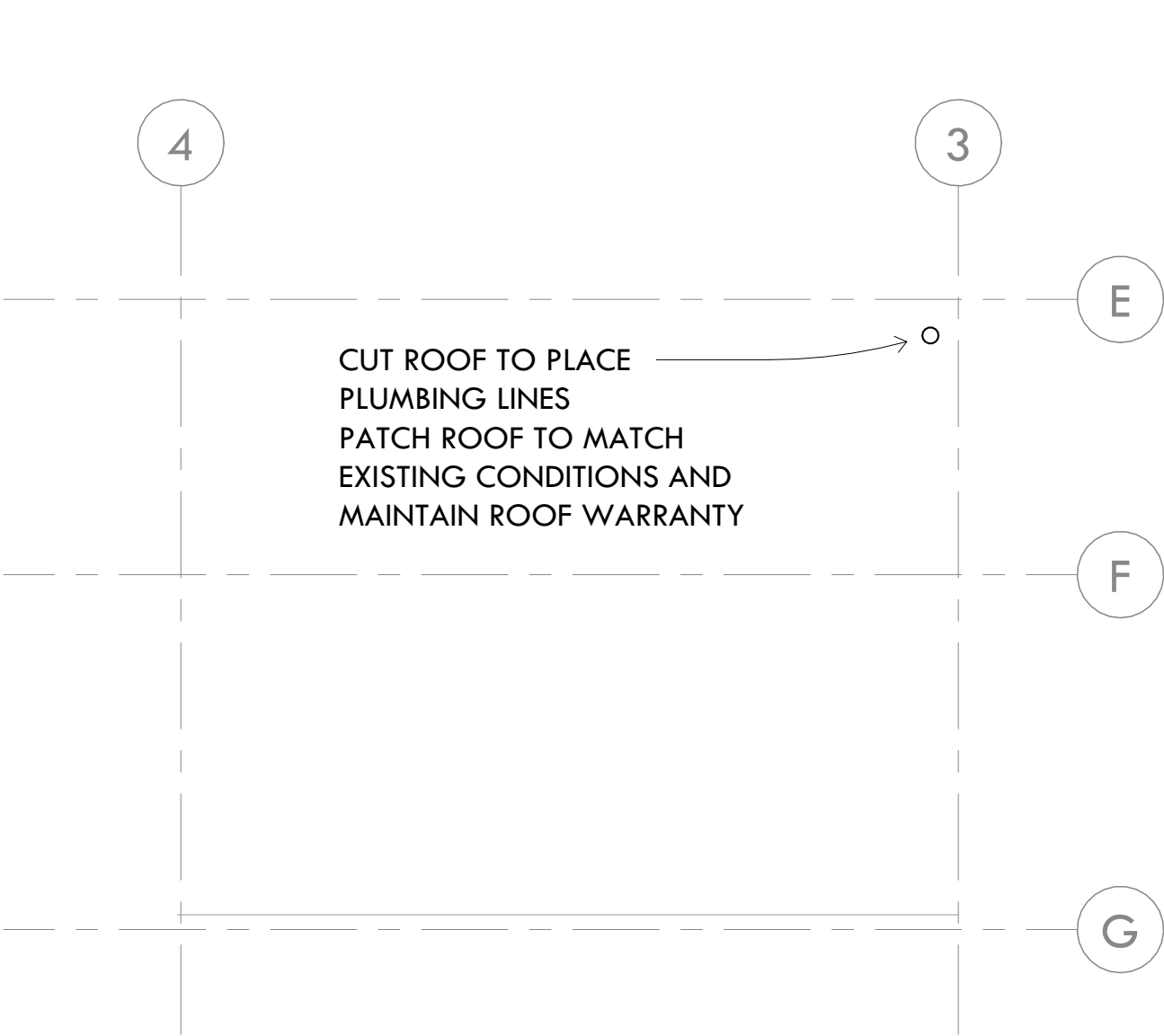
- GENERAL NOTES:**
- ASBESTOS ABATEMENT ON PIPE WRAP TO BE COMPLETED WITH DEMOLITION OF WATER AND SEWER LINES
 - SEE PROJECT MANUAL FOR ASBESTOS AND LEAD REPORTS
 - ISOLATE THE WORK AREA FROM THE REST OF THE UNIT
 - TENANTS PROPERTY WILL REMAIN ON NON WORK-SIDE OF ENCLOSURE
 - FINAL CLEANING AFTER WORK IS COMPLETE IN EACH UNIT
 - EXISTING CONCRETE FLOORS (2-10) AND ROOF DECK HAVE PRESTRESSED TENDONS
 - ANY CUTS TO CONCRETE FLOORS AND DECK MUST BE SCANNED PRIOR TO WORK
 - UNIT NUMBERS 3XX CORRESPOND WITH THE THIRD FLOOR. THE FIRST DIGIT WILL CHANGE TO MATCH TYPICAL FLOORS 4-10.
 - FIRE CAULK ALL GYP SHAFT WALL OPENINGS AND PENETRATIONS.

- PER PHASE NOTES:**
- ACCESS PANELS AND WALL PATCHES**
- REFERENCE PHASING PLANS FOR TYPES AND LOCATIONS. ACCESS PANELS ARE TO BE INSTALLED FLUSH WITH A MUDDED FRAME.

- KITCHEN**
- EACH KITCHEN SHALL HAVE (2) HOLES CUT INTO THE MECHANICAL WALL BEHIND THE SINK TO COMPLETE PLUMBING WORK
 - (1) BEHIND THE BASE CABINET BELOW THE SINK
 - COMPLETE PLUMBING WORK
 - PATCH THE WALL TO MATCH EXISTING
 - (1) BEHIND THE UPPER CABINET ABOVE THE SINK
 - COMPLETE PLUMBING WORK
 - PATCH THE WALL TO MATCH EXISTING
 - CABINETS SHALL REMAIN IN PLACE
 - CONTRACTOR MAY COMPLETE WORK FROM ONE SIDE OF PARTY WALL TO COMPLETE WORK FOR ADJACENT UNIT WHERE POSSIBLE

- BATHROOM**
- EACH BATHROOM SHALL HAVE (4) HOLES CUT INTO THE MECHANICAL WALLS AND SOFFITS
 - CUT INTO THE WALL UNDER THE SINK
 - COMPLETE PLUMBING WORK
 - PATCH THE WALL TO MATCH EXISTING
 - CUT INTO THE WALL BEHIND THE TOILET
 - REMOVE & REPLACE WALL BASE
 - COMPLETE PLUMBING WORK
 - PATCH THE WALL TO MATCH EXISTING
 - CUT INTO THE SOFFIT ABOVE THE TOILET TO ACCESS THE DRAIN/CONNECTION OF THE UNIT ABOVE
 - COMPLETE PLUMBING WORK
 - PATCH THE WALL TO MATCH EXISTING
 - CUT INTO THE SOFFIT ABOVE THE SHOWER TO ACCESS THE DRAIN/CONNECTION OF THE UNIT ABOVE
 - COMPLETE PLUMBING WORK
 - PATCH THE WALL TO MATCH EXISTING
 - CONTRACTOR MAY COMPLETE WORK FROM ONE SIDE OF PARTY WALL TO COMPLETE WORK FOR ADJACENT UNIT WHERE POSSIBLE

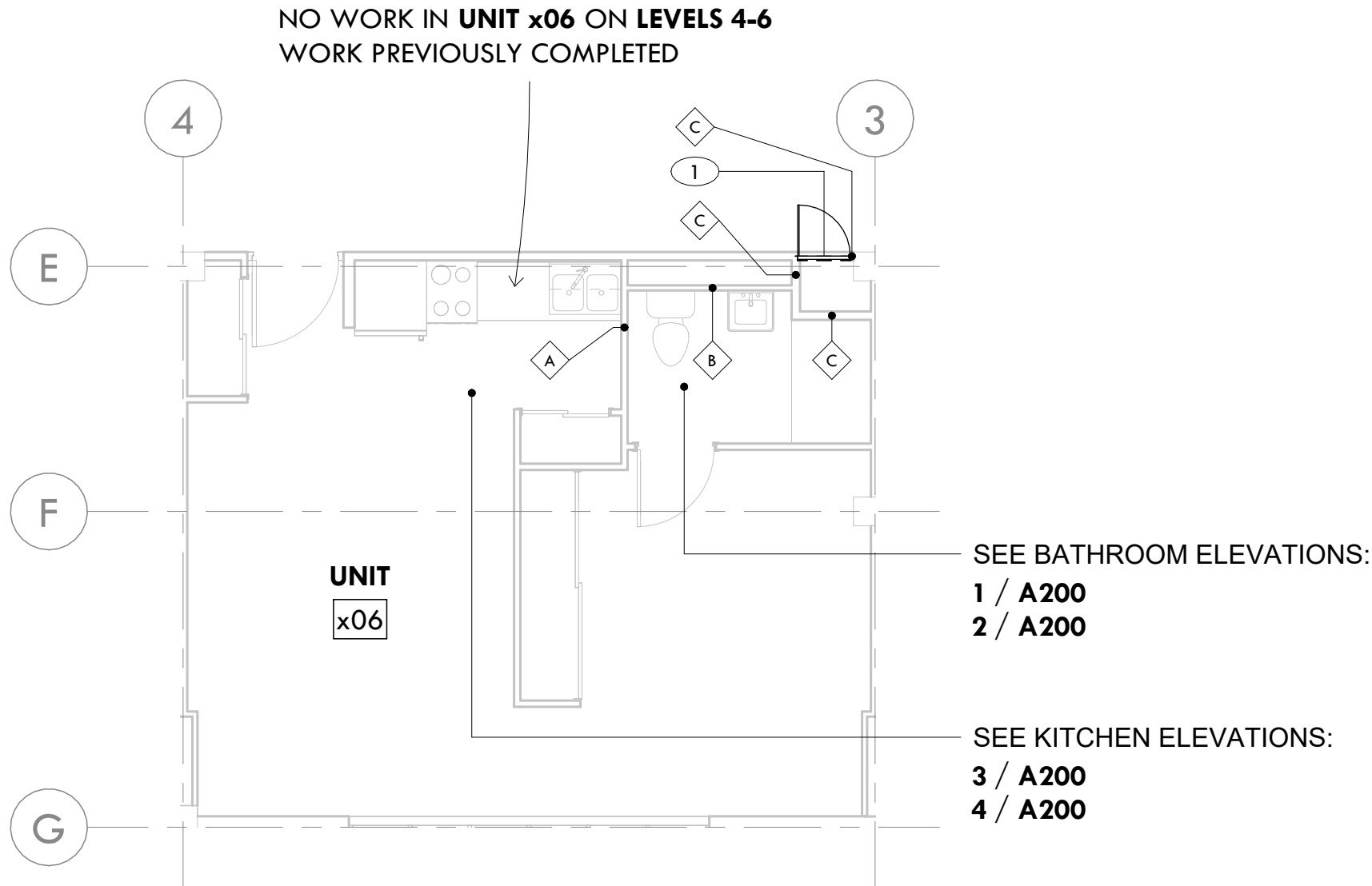
ACCESS PANEL TYPES	
1	ACCESS PANEL TYPE 1 (22"x22")
2	ACCESS PANEL TYPE 2 (16"x16")



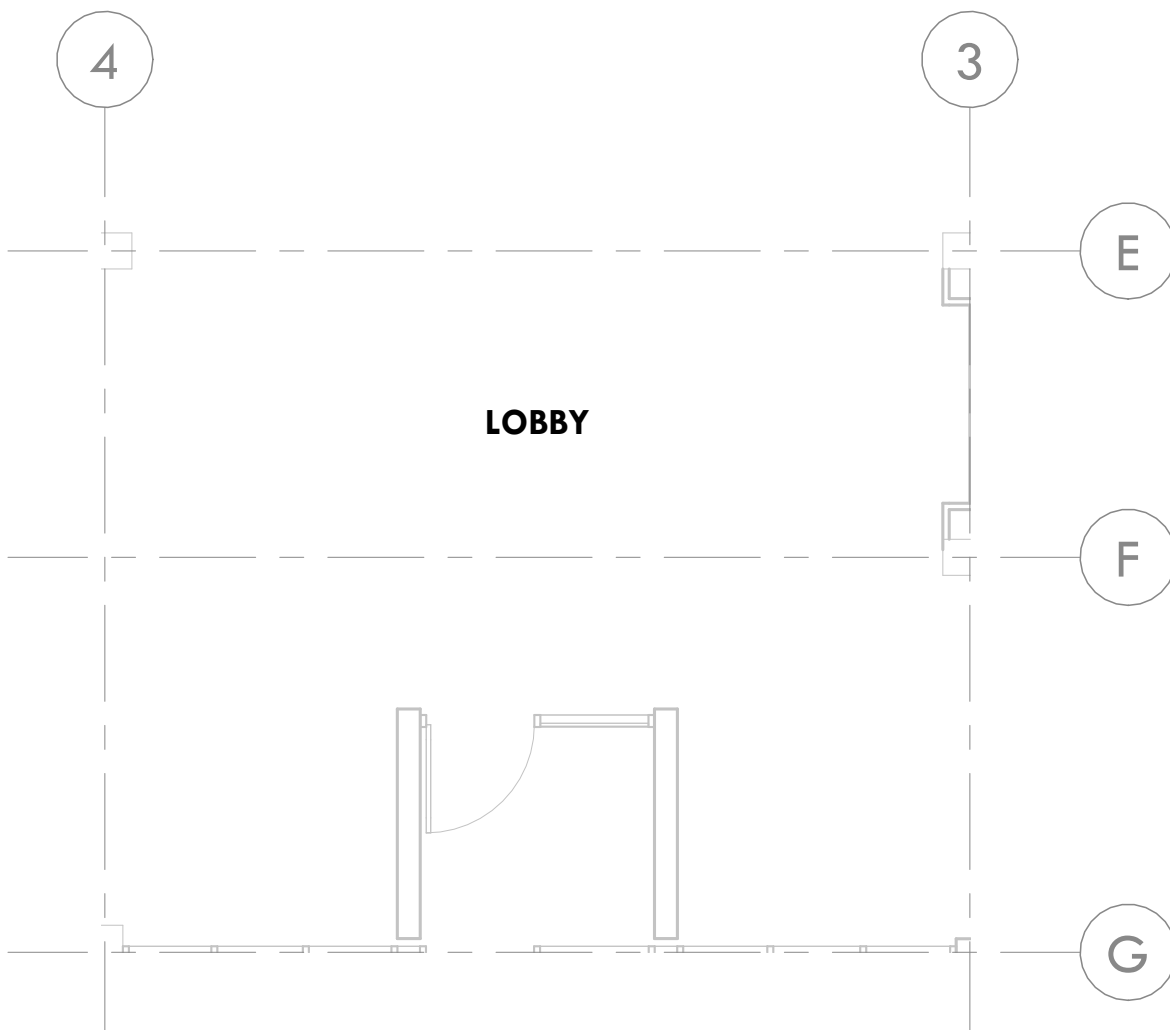
4 ROOF-PHASING PLAN-PHASE 5
3/16" = 1'-0"



2 SECOND FLOOR - PHASE 5
3/16" = 1'-0"



3 TYPICAL FLOOR (3-10) - PHASE 5
3/16" = 1'-0"



1 FIRST FLOOR - PHASE 5
3/16" = 1'-0"

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of

MINNESOTA	08/03/2026
	sign date
JAMES L. MOY	27036
	reg. no.

James L. Moy

△ ISSUES / REVISIONS
08/03/2026 100% CD Bid Set

EXISTING CONDITIONS

VERIFY ALL EXISTING CONSTRUCTION DIMENSIONS, ELEVATIONS AND CONDITIONS BEFORE STARTING ANY CONSTRUCTION. REVIEW ANY DISCREPANCIES WITH THE ARCHITECT. ADJUST NEW CONSTRUCTION AS REQUIRED.

Empire Apartments

54 4th Ave. N.
St. Cloud, MN 56303

B/A PROJECT NUMBER: 625-47
PHASING PLANS - PHASE 5

A105

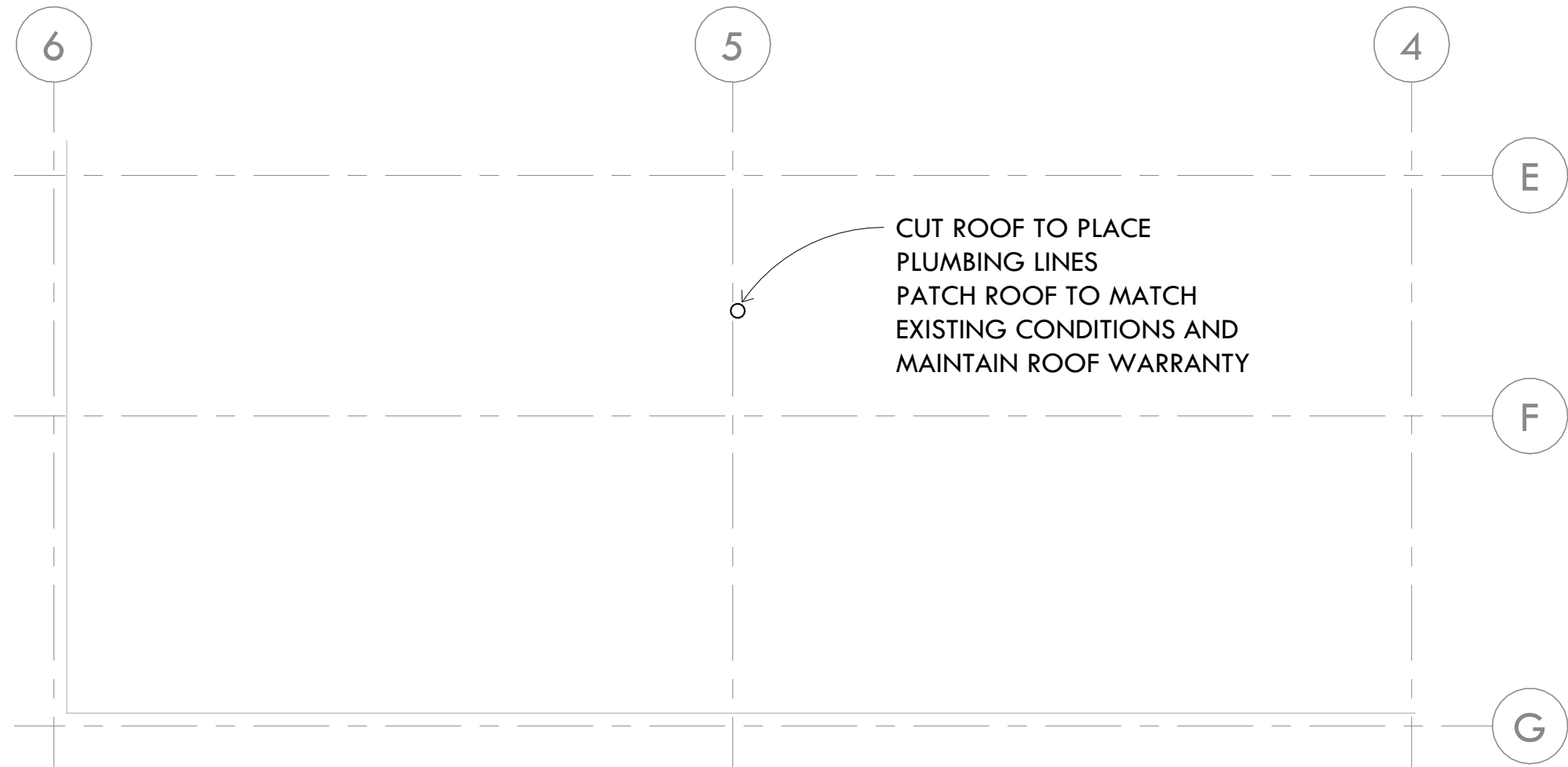
PHASE 6
17 UNITS TOTAL

B

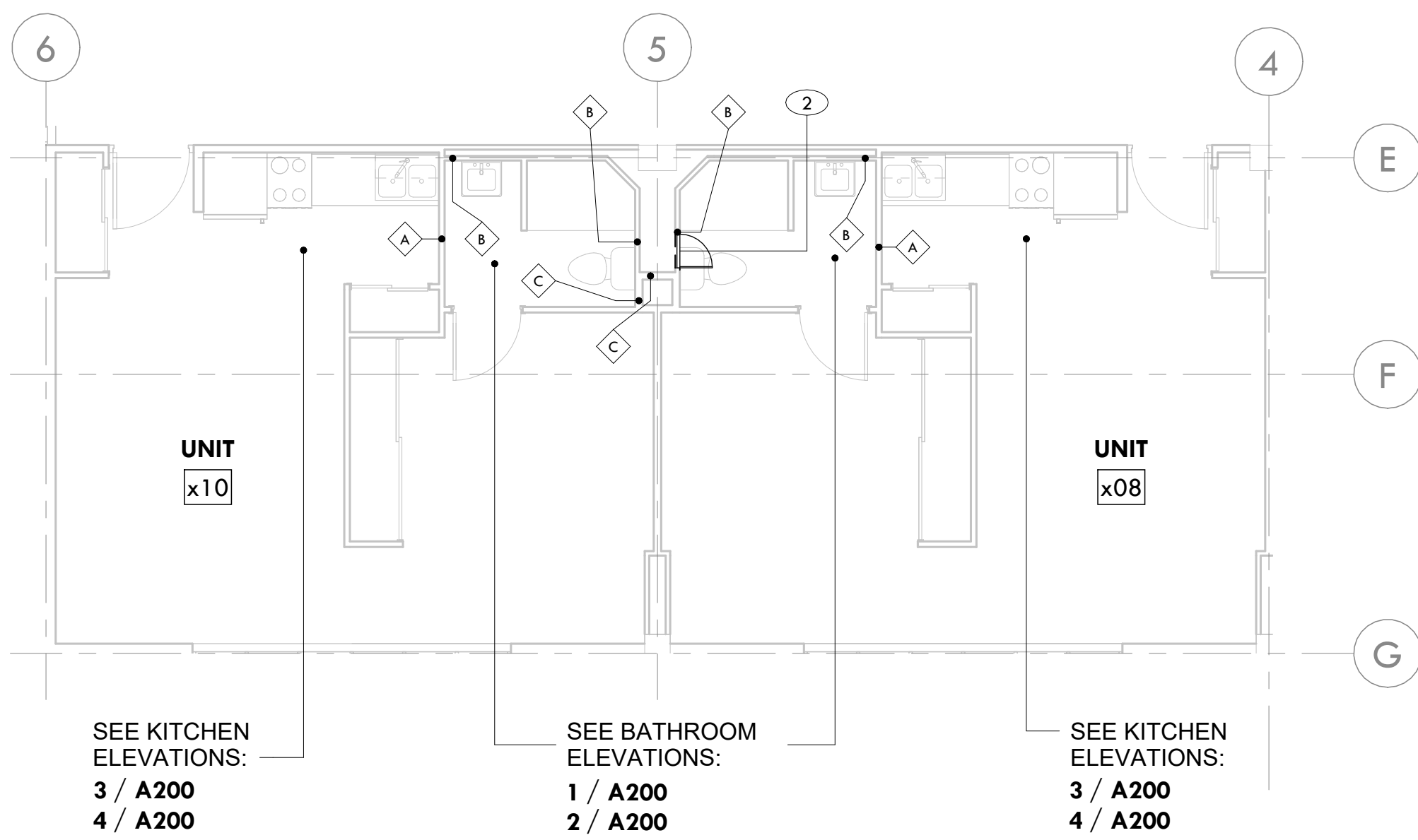
A

Blumentals
Architecture

1600 Marshall Street NE, Suite 1
Minneapolis, MN 55413
612/331-2222
info@blumentals.com



4 ROOF-PHASING PLAN-PHASE 6
3/16" = 1'-0"



3 TYPICAL FLOOR (3-10) - PHASE 6
3/16" = 1'-0"

PHASING NARRATIVE

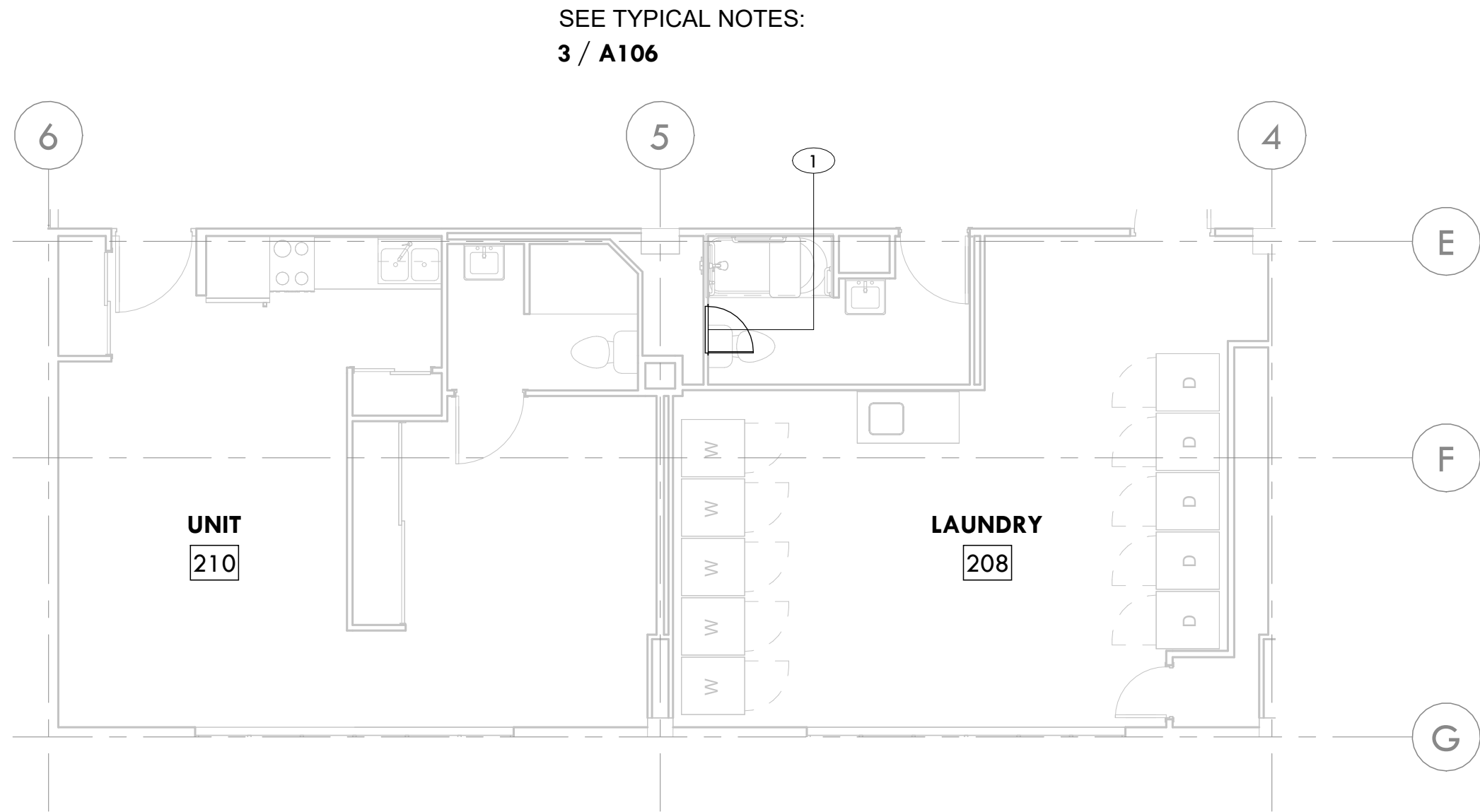
- GENERAL NOTES:**
- ASBESTOS ABATEMENT ON PIPE WRAP TO BE COMPLETED WITH DEMOLITION OF WATER AND SEWER LINES
 - SEE PROJECT MANUAL FOR ASBESTOS AND LEAD REPORTS
 - ISOLATE THE WORK AREA FROM THE REST OF THE UNIT
 - TENANTS PROPERTY WILL REMAIN ON NON WORK-SIDE OF ENCLOSURE
 - FINAL CLEANING AFTER WORK IS COMPLETE IN EACH UNIT
 - EXISTING CONCRETE FLOORS (2-10) AND ROOF DECK HAVE PRESTRESSED TENDONS
 - ANY CUTS TO CONCRETE FLOORS AND DECK MUST BE SCANNED PRIOR TO WORK
 - UNIT NUMBERS 3XX CORRESPOND WITH THE THIRD FLOOR. THE FIRST DIGIT WILL CHANGE TO MATCH TYPICAL FLOORS 4-10.
 - FIRE CAULK ALL GYP SHAFT WALL OPENINGS AND PENETRATIONS.

- PER PHASE NOTES:**
- ACCESS PANELS AND WALL PATCHES**
- REFERENCE PHASING PLANS FOR TYPES AND LOCATIONS. ACCESS PANELS ARE TO BE INSTALLED FLUSH WITH A MUDDED FRAME.

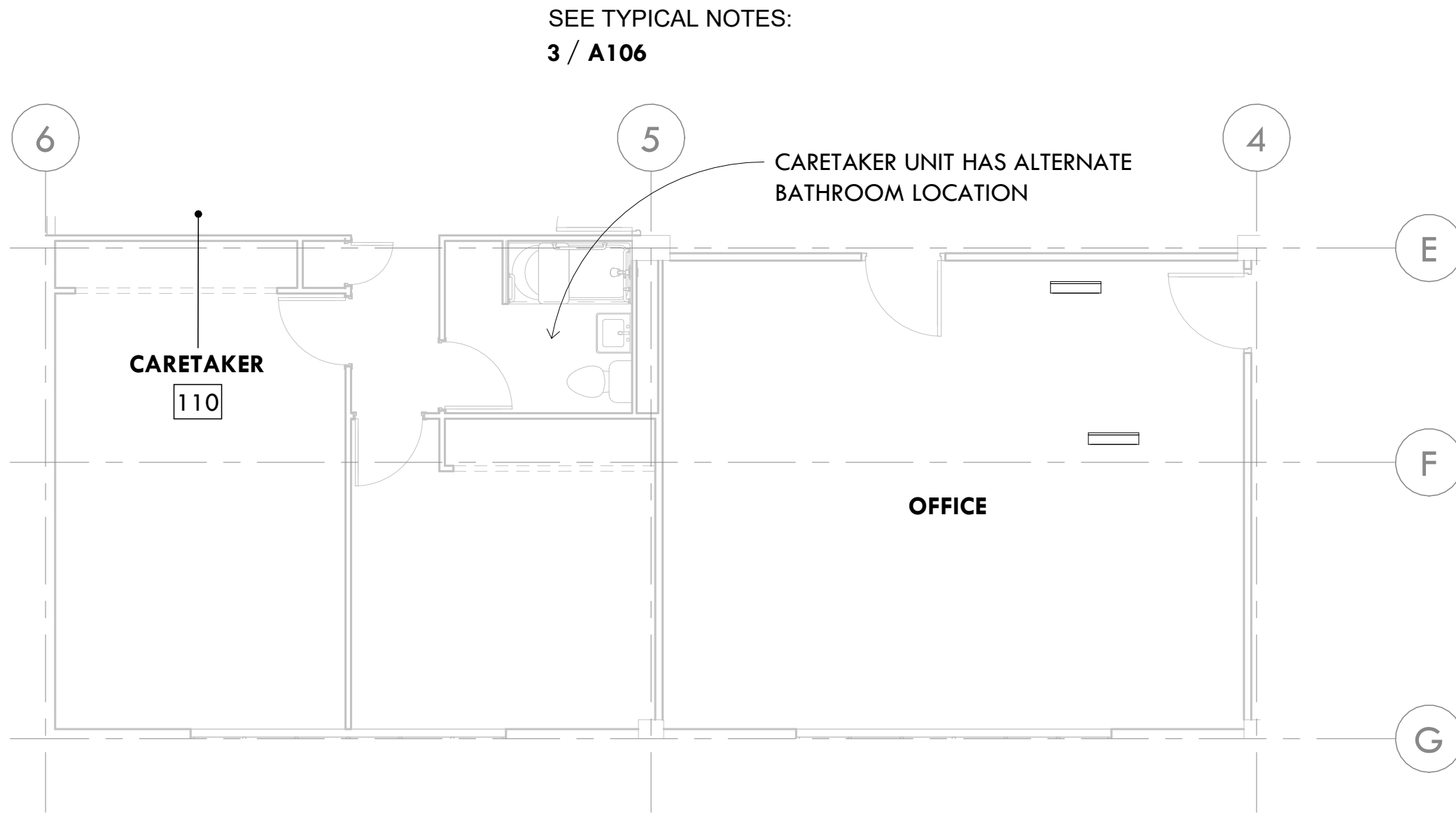
- KITCHEN**
- EACH KITCHEN SHALL HAVE (2) HOLES CUT INTO THE MECHANICAL WALL BEHIND THE SINK TO COMPLETE PLUMBING WORK
 - (1) BEHIND THE BASE CABINET BELOW THE SINK
 - COMPLETE PLUMBING WORK
 - PATCH THE WALL TO MATCH EXISTING
 - (1) BEHIND THE UPPER CABINET ABOVE THE SINK
 - COMPLETE PLUMBING WORK
 - PATCH THE WALL TO MATCH EXISTING
 - CABINETS SHALL REMAIN IN PLACE
 - CONTRACTOR MAY COMPLETE WORK FROM ONE SIDE OF PARTY WALL TO COMPLETE WORK FOR ADJACENT UNIT WHERE POSSIBLE

- BATHROOM**
- EACH BATHROOM SHALL HAVE (4) HOLES CUT INTO THE MECHANICAL WALLS AND SOFFITS
 - CUT INTO THE WALL UNDER THE SINK
 - COMPLETE PLUMBING WORK
 - PATCH THE WALL TO MATCH EXISTING
 - CUT INTO THE WALL BEHIND THE TOILET
 - REMOVE & REPLACE WALL BASE
 - COMPLETE PLUMBING WORK
 - PATCH THE WALL TO MATCH EXISTING
 - CUT INTO THE SOFFIT ABOVE THE TOILET TO ACCESS THE DRAIN/CONNECTION OF THE UNIT ABOVE
 - COMPLETE PLUMBING WORK
 - PATCH THE WALL TO MATCH EXISTING
 - CUT INTO THE SOFFIT ABOVE THE SHOWER TO ACCESS THE DRAIN/CONNECTION OF THE UNIT ABOVE
 - COMPLETE PLUMBING WORK
 - PATCH THE WALL TO MATCH EXISTING
 - CONTRACTOR MAY COMPLETE WORK FROM ONE SIDE OF PARTY WALL TO COMPLETE WORK FOR ADJACENT UNIT WHERE POSSIBLE

ACCESS PANEL TYPES	
1	ACCESS PANEL TYPE 1 (22"x22")
2	ACCESS PANEL TYPE 2 (16"x16")



2 SECOND FLOOR - PHASE 6
3/16" = 1'-0"



1 FIRST FLOOR - PHASE 6
3/16" = 1'-0"

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of

MINNESOTA	08/03/2026
	sign date
JAMES L. MOY	27036
	reg. no.

James L. Moy

ISSUES / REVISIONS

08/03/2026	100% CD Bid Set
------------	-----------------

EXISTING CONDITIONS

VERIFY ALL EXISTING CONSTRUCTION DIMENSIONS, ELEVATIONS AND CONDITIONS BEFORE STARTING ANY CONSTRUCTION. REVIEW ANY DISCREPANCIES WITH THE ARCHITECT. ADJUST NEW CONSTRUCTION AS REQUIRED.

Empire Apartments

54 4th Ave. N.
St. Cloud, MN 56303

B/A PROJECT NUMBER: 625-47
PHASING PLANS - PHASE 6

A106

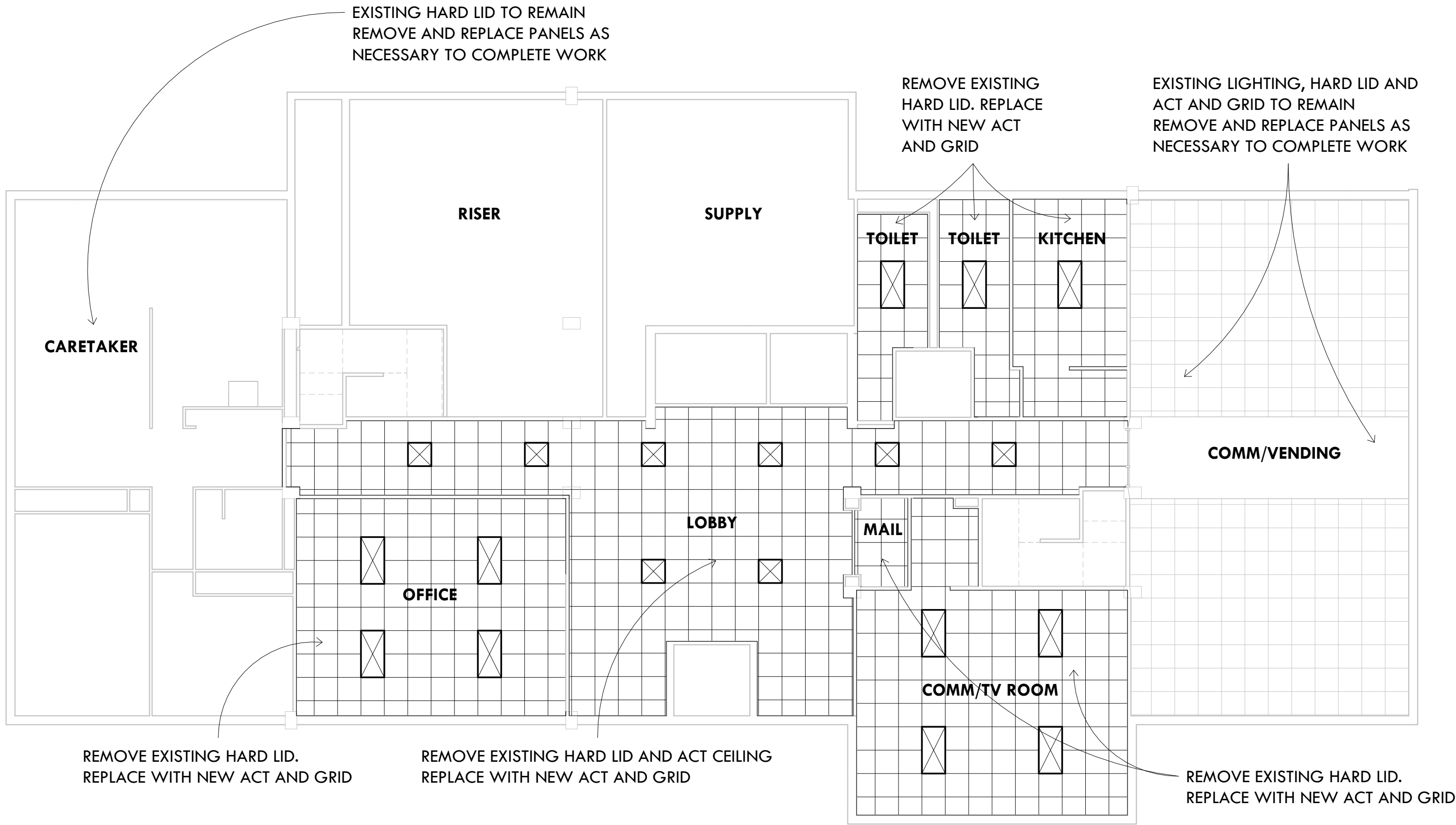
7/31/2026 3:19:06 PM

REFLECTED CEILING PLAN GENERAL NOTES AND LEGEND:

NEW ACT CEILING IS TO BE INSTALLED ON A 2'x4' GRID WITH 2'x2' EXPRESSED TILES.

CEILING AND ELECTRICAL WORK IS DESIGN/BUILD. LIGHTING LOCATIONS ARE APPROXIMATE, FINAL DESIGN TO BE VERIFIED WITH OWNER.

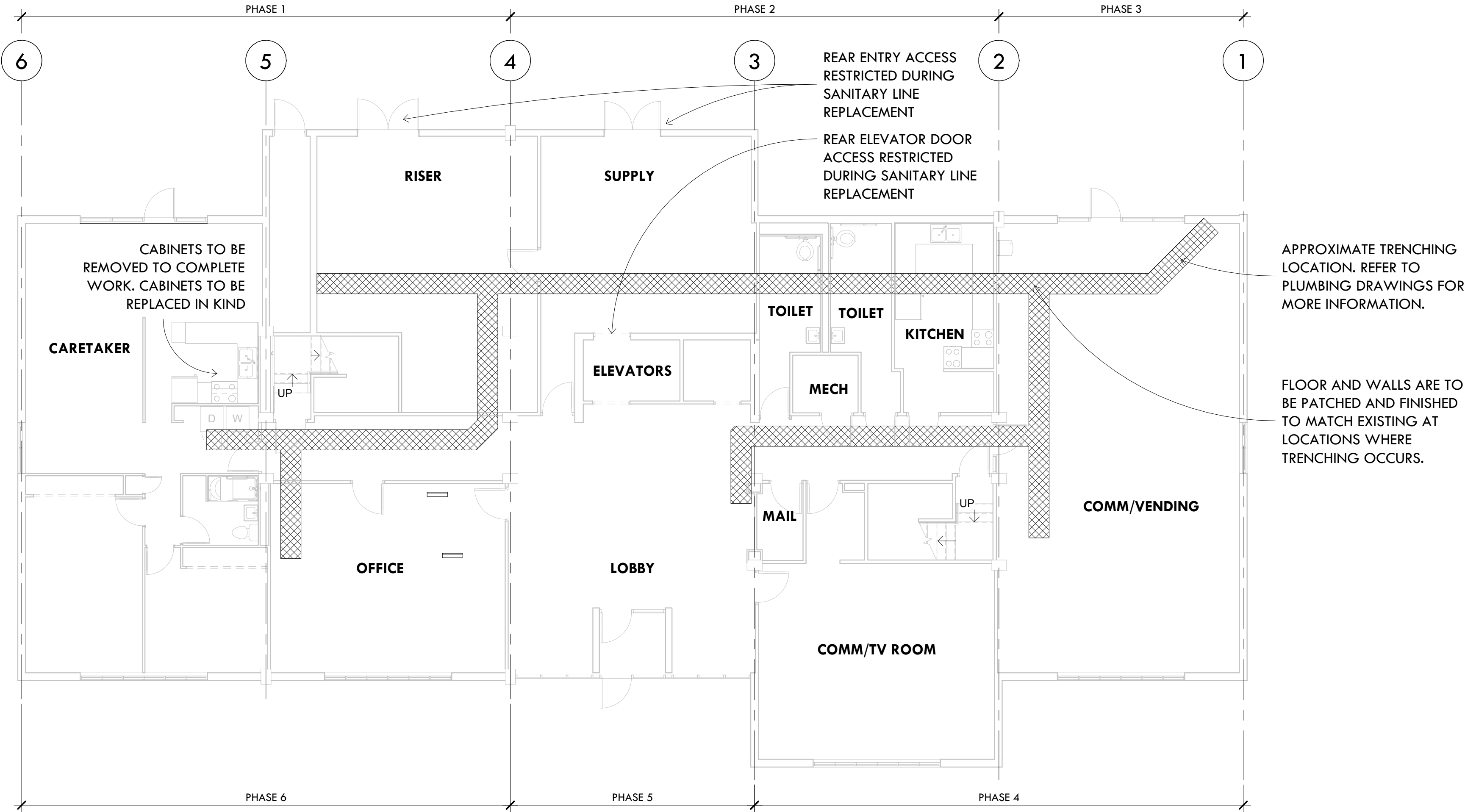
-  2'x4' TROFFER LIGHT
-  2'x2' TROFFER LIGHT



2 FIRST FLOOR REFLECTED CEILING PLAN
1/8" = 1'-0"

SANITARY LINE DEMOLITION GENERAL NOTE:

TRENCHING SHOWN ON THE ADJACENT PLAN DEMONSTRATE ONLY WHICH AREAS ARE AFFECTED AND WILL HAVE LIMITED ACCESS, AND ARE THUS APPROXIMATE. REFER TO PLUMBING DRAWINGS FOR MORE INFORMATION AND TO VERIFY TRENCHING LOCATIONS.



1 FIRST FLOOR SANITARY LINE DEMOLITION AND BUILDING ACCESS DIAGRAM
1/8" = 1'-0"



**Blumentals
Architecture**

1600 Marshall Street NE, Suite 1
Minneapolis, MN 55413
612/331-2222
info@blumentals.com

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of MINNESOTA

08/03/2026
sign date

JAMES L. MOY
27036
reg. no.

James L. Moy

ISSUES / REVISIONS
08/03/2026 100% CD Bid Set

EXISTING CONDITIONS

VERIFY ALL EXISTING CONSTRUCTION DIMENSIONS, ELEVATIONS AND CONDITIONS BEFORE STARTING ANY CONSTRUCTION. REVIEW ANY DISCREPANCIES WITH THE ARCHITECT. ADJUST NEW CONSTRUCTION AS REQUIRED.

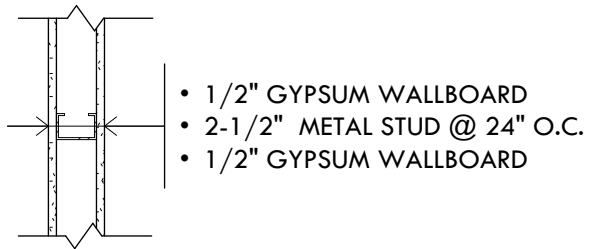
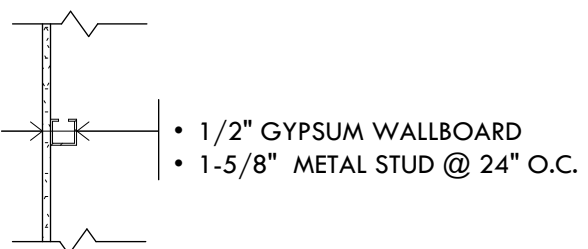
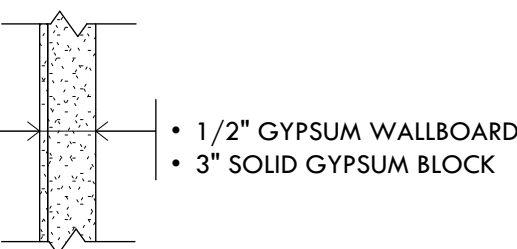
Empire Apartments

54 4th Ave. N.
St. Cloud, MN 56303

B/A PROJECT NUMBER: **625-47**
FIRST FLOOR PLANS

A107

WALL TYPES

A EXISTING METAL PARTITION - LIVING UNITS					B EXISTING FURRED WALL BEHIND TOILET AND SINK					C EXISTING CHASE WALL				
														
SUB TYPE	STUD WIDTH	ASSEMBLY WIDTH	STC RATING	FIRE RATING / UL CODE NOTES	SUB TYPE	STUD WIDTH	ASSEMBLY WIDTH	STC RATING	FIRE RATING / UL CODE NOTES	SUB TYPE	STUD WIDTH	ASSEMBLY WIDTH	STC RATING	FIRE RATING / UL CODE NOTES
A	2 1/2"	3 1/2"		SEE NOTE # 1	B	1 5/8"	2 1/8"			C		3 1/2"		



4 UNIT KITCHEN
NOT TO SCALE



3 UNIT CABINET BASE INTERIOR
NOT TO SCALE



2 SHOWER
NOT TO SCALE



1 UNIT BATHROOM
NOT TO SCALE

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of

MINNESOTA	08/03/2026
	sign date
JAMES L. MOY	27036
	reg. no.

James L. Moy

△ ISSUES / REVISIONS
08/03/2026 100% CD Bid Set

EXISTING CONDITIONS

VERIFY ALL EXISTING CONSTRUCTION DIMENSIONS, ELEVATIONS AND CONDITIONS BEFORE STARTING ANY CONSTRUCTION. REVIEW ANY DISCREPANCIES WITH THE ARCHITECT. ADJUST NEW CONSTRUCTION AS REQUIRED.

Empire Apartments

54 4th Ave. N.
St. Cloud, MN 56303

B/A PROJECT NUMBER: 625-47
ELEVATIONS AND WALL TYPES

A. THESE GENERAL DEMOLITION NOTES SHALL APPLY TO ALL PLUMBING DEMOLITION DRAWINGS.

B. DEMOLITION DRAWINGS ARE DIAGRAMMATIC AND ARE BASED ON LIMITED FIELD OBSERVATIONS AND EXISTING RECORD DRAWINGS. PLUMBING CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK AND NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES BETWEEN THE 'AS-BUILT' CONDITIONS AND THE DRAWINGS. PROVIDE ADDITIONAL DEMOLITION AS REQUIRED BASED ON ACTUAL FIELD CONDITIONS.

C. ALL DEMOLITION WORK SHALL BE PERFORMED WITH DUE CARE AND DILIGENCE TO PREVENT THE UNNECESSARY DESTRUCTION AND/OR DAMAGE TO SYSTEMS THAT SHALL REMAIN IN OPERATION AFTER THIS WORK.

D. ALL HATCHED ITEMS DENOTE REMOVAL OR RELOCATION. EXISTING ITEMS TO REMAIN ARE SHOWN LIGHT.

E. EXISTING INSULATION DAMAGED DURING DEMOLITION OR CONSTRUCTION ACTIVITIES SHALL BE REPAIRED WITH SIMILAR MATERIALS.

F. ALL OPENINGS THROUGH WALLS AND FLOOR SLABS NOT BEING REUSED SHALL BE PATCHED WITH LIKE MATERIALS TO MATCH EXISTING. WHERE FIRE RATED ASSEMBLIES ARE REMOVED, IT SHALL BE OTHERWISE DAMAGED THEY SHALL BE REPAIRED AND SEALED WATERTIGHT.

G. ALL OPENINGS THROUGH ROOF NOT BEING REUSED SHALL BE PATCHED WITH LIKE MATERIALS AND SEALED WATERTIGHT.

H. PLUMBING CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND RE-INSTALLATION OF EXISTING CEILING TILES NOT REMOVED BY THE GENERAL CONTRACTOR. REFER TO ARCHITECTURAL PLANS FOR EXTENT OF CEILING WORK BY THE GENERAL CONTRACTOR. PLUMBING CONTRACTOR SHALL REPLACE ANY EXISTING CEILING TILES OR GRIDS DAMAGED DURING CONSTRUCTION.

I. RELOCATE AS NECESSARY ANY EXISTING DRAIN, WASTE, VENT, AND DOMESTIC WATER PIPING FLOW PASSING THROUGH THE AREA OF CONSTRUCTION WHICH PRESENTLY SPANS OR PORTIONS OF THE BUILDING UNAFFECTED BY THIS PROJECT IN ORDER TO MAINTAIN THE CONTINUITY OF EXISTING SYSTEMS AND TO CONCEAL THEM ABOVE NEW CEILINGS.

J. ANY EXISTING DRAIN, WASTE, VENT, AND DOMESTIC WATER PIPING WHICH IS WITHIN THE AREA OF CONSTRUCTION AND SHOWN TO REMAIN BUT FOUND TO BE DAMAGED SHALL BE REPLACED WITH NEW MATERIALS CONFORMING TO THESE CONTRACT DOCUMENTS.

K. ALL EQUIPMENT, DEVICES, AND MATERIALS REMOVED DURING DEMOLITION WORK AND NOT INDICATED TO BE REUSED OR TURNED OVER TO THE OWNER SHALL BECOME THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR FOR DISPOSAL.

L. WHERE PIPING IS SHOWN TO BE DEMOLISHED, IT SHALL BE REMOVED BACK TO THE PIPE MAINS AND CAPPED AT THAT POINT UNLESS NOTED OTHERWISE.

M. REFER TO ARCHITECTURAL DRAWINGS FOR ALTERNATES AND PHASING OF CONSTRUCTION WORK.

N. THE GENERAL DESIGN INTENT IS FOR ALL EXISTING GALVANIZED DOMESTIC WATER PIPING TO BE REMOVED AND REPLACED UNLESS NOTED OTHERWISE.

THESE GENERAL NOTES SHALL APPLY TO ALL PLUMBING DRAWINGS.

B. PLUMBING CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK AND NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES BETWEEN THE "AS-BUILT" CONDITIONS AND THESE DRAWINGS.

C. ALL PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH 2020 MINNESOTA PLUMBING CODE (SEE MINNESOTA RULES, CHAPTER 4714).

D. EXISTING ITEMS TO REMAIN ARE SHOWN LIGHT. NEW ITEMS ARE SHOWN DARK.

E. ANY WALL, FLOOR, OR CEILING SURFACE THAT IS DISTURBED DURING THE COURSE OF THIS WORK SHALL BE REPAIRED TO EXISTING OR LIKE-NEW CONDITION.

F. COORDINATE UNDERGROUND PIPING SYSTEMS WITH FOUNDATION CONTRACTOR PRIOR TO INSTALLATION.

G. PLUMBING CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL EQUIPMENT AND PIPING TO FIT WITHIN THE SPACE ALLOWED BY ARCHITECTURAL AND STRUCTURAL CONDITIONS. PROVIDE PIPE OFFSETS AND TRANSITIONS AS REQUIRED TO ACCOMMODATE STRUCTURE AND ARCHITECTURE. CUTTING OR OTHERWISE ALTERING STRUCTURAL MEMBERS SHALL NOT BE PERMITTED WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT.

H. ALL PLUMBING EQUIPMENT SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATION.

I. A CLEANOUT SHALL BE PROVIDED AT THE BASE OF EACH WASTE OR SOIL STACK AND AS REQUIRED BY CODE.

J. SEE PLUMBING FIXTURE SCHEDULE FOR INDIVIDUAL PLUMBING FIXTURE CONNECTION SIZE REQUIREMENTS.

K. SEE SHEETS P401 - P402 FOR ALL DRAIN, WASTE, VENT, AND DOMESTIC WATER PIPING ISOMETRICS.

L. COORDINATE ALL PLUMBING PIPING AND EQUIPMENT WITH HVAC, ELECTRICAL, AND FIRE SUPPRESSION.

M. CHANGES IN DIRECTION IN DRAINAGE PIPING MUST BE MADE BY APPROPRIATE WYES AND BENDS. SANITARY TEES ARE NOT ALLOWED WHERE THE DIRECTION OF FLOW CHANGES FROM EITHER VERTICAL TO HORIZONTAL OR HORIZONTAL TO HORIZONTAL.

N. ALL HORIZONTAL BRANCH DRAINS SHALL BE UNIFORMLY PITCHED AT 1/4-INCH PER FOOT (SEE MINNESOTA RULES, CHAPTER 4714, SECTION 708.1).

O. THE BUILDING SEWER MUST BE INSTALLED WITH A UNIFORM SLOPE OF AT LEAST 1/4-INCH PER FOOT (SEE MINNESOTA RULES, CHAPTER 4714, SECTION 718.1). WHERE MUNICIPAL SEWER DEPTH, STRUCTURAL FEATURES, OR BUILDING ARRANGEMENT PRECLUDE THIS SLOPE, A SLOPE OF 1/8-INCH PER FOOT MINIMUM MAY BE UTILIZED IF APPROVED BY THE AUTHORITY HAVING JURISDICTION.

P. PLUMBING DESIGN SHALL COMPLY WITH MINNESOTA RULES, CHAPTER 4714, SECTION 711.0 REGARDING SUDS RELIEF.

Q. ALL SINKS, EXCEPT FOR LAVATORIES AND PRIVATE-USE BAR SINKS, MUST BE PROVIDED WITH 2-INCH MINIMUM VERTICAL FIXTURE DRAINS (SEE MINNESOTA RULES, CHAPTER 4714, TABLES 702.1 AND 703.2). LAUNDRY TUBS, DOMESTIC CLOTHES WASHERS, AND URINALS REQUIRE 2-INCH MINIMUM VERTICAL DRAINS.

R. PLUMBING PIPING CONNECTIONS OR EQUIPMENT WHICH HAVE INLETS BELOW THE SPILL LINE MUST BE PROVIDED WITH AN APPROVED BACKFLOW PREVENTER (SEE MINNESOTA RULES, CHAPTER 4714, SECTION 602.3).

S. DOMESTIC DISHWASHING MACHINES SHALL DISCHARGE INDIRECTLY IN ACCORDANCE WITH SECTION 807.3 INTO WASTE RECEPTOR, A WYE BRANCH FITTING ON THE TAILPIECE OF A KITCHEN SINK, OR DISHWASHER CONNECTION OF A FOOD WASTE DISPOSER. COMMERCIAL DISHWASHING MACHINES SHALL DISCHARGE INDIRECTLY THROUGH AN AIR BREAK OR DIRECT CONNECTION. THE DIRECT DISCHARGE FOR COMMERCIAL DISHWASHING MACHINES SHALL BE IN ACCORDANCE WITH SECTION 807.1, AND THE DIRECT DISCHARGE SHALL BE IN ACCORDANCE WITH SECTION 704.3.

T. FLOOR OR DRAIN SHALL DISCHARGE TO THE SANITARY SEWER USING AN INDIRECT CONNECTION THAT PRECLUDES THE POSSIBILITY OF SEWAGE BACKUP INTO THE PIT. IF A SUMP IS USED, IT SHALL BE OUTSIDE THE PIT WITH A DRY PAN DRAIN FLOWING TO IT (SEE MINNESOTA RULES, CHAPTER 4714, SECTIONS 418.6 AND 710.4).

U. THE CONNECTION TO AN AUTOMATIC CLOTHES WASHER MUST BE PROTECTED BY THE USE OF AN AIR GAP OR AN APPROVED BACKFLOW PREVENTER (SEE MINNESOTA RULES, CHAPTER 4714, SECTION 602.3). A CLOTHES WASHER MUST DISCHARGE INDIRECTLY TO A STANDPIPE OR LAUNDRY TUB (SEE MINNESOTA RULES, CHAPTER 4714, TABLE 702.1, AND SECTION 804.1).

V. IN NO CASE SHALL WATER FROM A ROOF BE ALLOWED TO FLOW UPON THE PUBLIC SIDEWALK (SEE MINNESOTA RULES, CHAPTER 4714, SECTION 1101.2).

W. INSTALL CLEANOUTS LOCATED IN SIDEWALK, PAVED OR GREEN AREAS FLUSH WITH FINAL FINISHED SURFACE.

X. ALL DRAINAGE TRIMMANTS MUST BE INSTALLED TO THE TOP OF THE DRAINAGE PIT (SEE MINNESOTA RULES, CHAPTER 4714, TABLE 602.2).

Y. EXCEPT AS PROVIDED ELSEWHERE IN THIS CODE, EACH VENT SHALL RISE VERTICALLY TO A POINT NOT LESS THAN 6-INCHES ABOVE THE FLOOD-LEVEL RIM OF THE FIXTURE SERVED BEFORE OFFSETTING HORIZONTALLY, AND WHERE TWO OR MORE VENT PIPES CONVERGE, EACH SUCH VENT PIPE SHALL RISE TO A POINT NOT LESS THAN 6-INCHES IN HEIGHT ABOVE THE FLOOD LEVEL RIM OF THE PLUMBING FIXTURE IT SERVES BEFORE BEING CONNECTED TO ANY OTHER VENT (SEE MINNESOTA RULES, CHAPTER 4714, SECTION 905.3).

Z. PROVIDE ISOLATION VALVES AT ALL DOMESTIC WATER BRANCH PIPING RUNOUTS. ALL ISOLATION VALVES SHALL BE LOCATED IN ACCESSIBLE LOCATIONS.

AA. LOCATE GAUGES AND THERMOMETERS FOR EASE OF OBSERVATION.

BB. VALVES SHALL BE INSTALLED PERMITTING THE WATER SUPPLY TO EACH ROOM OR INDIVIDUAL FIXTURE TO BE SHUT OFF WITHOUT DISRUPTING ANY OTHER PORTION OF THE BUILDING.

CC. PROVIDE ACCESS PANELS IN NON-ACCESSIBLE CEILINGS AND IN WALL STRUCTURES TO ALLOW ADEQUATE ROOM FOR MAINTENANCE OF EQUIPMENT AND BALANCING OF SYSTEMS. COORDINATE EXACT SIZES AND LOCATIONS OF ACCESS PANELS WITH ARCHITECT DURING THE SHOP DRAWING PROCESS.

DD. PROVIDE HWRC BALANCING ASSEMBLIES AS REQUIRED TO MAINTAIN DOMESTIC HOT WATER FLOW TO ALL APPLICABLE PLUMBING FIXTURES AND AS SHOWN ON DRAWINGS.

EE. INSULATE PIPING PER ENERGY CODE REQUIREMENTS.

FF. VERIFY PLUMBING FIXTURE LOCATIONS AND MOUNTING HEIGHTS WITH ARCHITECT AND OWNER PRIOR TO ROUGH-IN AND INSTALLATION.

GG. PLUMBING WORK SHALL NOT BE LOCATED OVER ELECTRICAL EQUIPMENT OR PANELS. COORDINATE WITH ELECTRICAL CONTRACTOR TO MAINTAIN ALL CODE REQUIRED ELECTRICAL CLEARANCES.

HH. PAINT ALL VTR'S TO MATCH ROOF AND TERMINATE NOT LESS THAN 12-INCHES ABOVE ROOF.

II. OFF-VENT PIPING AS NEEDED TO BE LOCATED A MINIMUM OF 10-FEET AWAY OR 3-FEET ABOVE OUTSIDE AIR INTAKES AND AS REQUIRED BY CODE.

JJ. A BUILDING VENT PIPES MUST HAVE A TOTAL CROSS-SECTIONAL AREA NOT LESS THAN THE AREA OF THE LARGEST REQUIRED BUILDING SEWER (SEE MINNESOTA RULES, CHAPTER 4714, SECTION 904.1). VERIFY THAT THIS REQUIREMENT IS MET.

KK. RASH AND SEAL ALL ROOF PENETRATIONS TO MAKE WATER-TIGHT.

LL. THE WATER DISTRIBUTION SYSTEM SHALL BE DISINFECTED PER MINNESOTA RULES, CHAPTER 4714, SECTION 609.9.

MM. THE PLUMBING SYSTEM SHALL BE TESTED IN ACCORDANCE WITH MINNESOTA RULES, CHAPTER 4714, SECTIONS 609.4, 712.0, AND 710.10.

NN. ALL PLUMBING SYSTEMS SHALL COMPLY WITH THE CURRENT MINNESOTA COMMERCIAL ENERGY CODE.

OO. VERIFY THAT THE EXISTING DRAIN, WASTE, VENT AND DOMESTIC WATER SYSTEMS ARE SIZED TO ACCOMMODATE THE ADDED FIXTURES.

PP. IT IS RECOMMENDED THAT A CLEANOUT BE PROVIDED WHERE NEW WASTE AND VENT PIPING CONNECTS WITH EXISTING PLUMBING TO FACILITATE REQUIRED TESTING OF THE NEW INSTALLATION.

QQ. THE ALLOCATION AND REUSE OF EXISTING PLUMBING IS NOT ALLOWED UNLESS IT MEETS THE CURRENT RULES SET FORTH IN THE MINNESOTA PLUMBING CODE (SEE MINNESOTA RULES, CHAPTER 4714.0101, SUBPARTS 2 AND 3).

RR. REFER TO ARCHITECTURAL DRAWINGS FOR ALTERNATES AND PHASING OF CONSTRUCTION WORK.

SS. CLEANOUTS SHALL BE INSTALLED ON KITCHEN SINKS AND URINALS PER MINNESOTA RULES, CHAPTER 4714, SECTION 707.4.3.

<u>GENERIC SYMBOLS</u>	
	CONNECT TO EXISTING
	EQUIPMENT TO BE DEMOLISHED
	KEYED NOTE
	REVISION

	ANGLE VALVE
	BACKFLOW PREVENTER
	BACK WATER VALVE
	BALL VALVE
	BUTTERFLY VALVE
	CHECK VALVE W/DIRECTION INDICATED
	DOUBLE CHECK VALVE
	CLEAN OUT / FLOOR CLEAN OUT
	FLANGE
	FLOOR DRAIN

	GATE VALVE
	GLOBE VALVE
	HOSE BIBB OR WALL HYDRANT

 PIPE GUIDES

 PRESSURE REDUCING VALVE WITH INLET AND OUTLET PRESSURE

DDP / REDUCED PR

1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 2679, 2680, 26

 VACUUM PDE

 WATER HAMMER

	CA	COMPRESSED AIR LINE
	CD	CONDENSATE DRAINAGE
	CW	COLD WATER (ABOVE GRADE)
	SCW	COLD WATER - SOFT
	HCW	COLD WATER - HARD
	NPW	COLD WATER - NON-POTABLE
	E _—	EXISTING TO REMAIN (HALFTONED SYTEMS)
	E _{- - -}	DEMOLISHED PIPING
	FP	FIRE PROTECTION
	FLAM	FLAMMABLE WASTE (ABOVE GRADE)
	FLAM	FLAMMABLE WASTE (BELOW GRADE)
	HW	HOT WATER (120°)
	HW-140°	HOT WATER (140°)
	HWRC	HOT WATER RECIRCULATION PIPING (120°)
	HWRC-140°	HOT WATER RECIRCULATION PIPING (140°)
	LPG	LIQUID PROPANE GAS
	NG	NATURAL GAS PIPING
	OX	OXYGEN PIPING
	SAN	SANITARY SEWER LINE (ABOVE GRADE)
	SAN	SANITARY SEWER LINE (BELOW GRADE)
	BW	SANITARY SEWER LINE BLACK WATER
	GW	SANITARY SEWER LINE GRAY WATER
	RWL	STORM DRAIN (ABOVE GRADE)
	RWL	STORM DRAIN (BELOW GRADE)
	ORWL	OVERFLOW STORM DRAIN (ABOVE GRADE)
	ORWL	OVERFLOW STORM DRAIN (BELOW GRADE)
	TW	TEMPERED WATER
	V	VENT
	CW-L	COLD WATER (UNBOOSTED)
	CW-U	COLD WATER (BOOSTED)

AF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
BWV	BACK WATER VALVE
BV	BALL VALVE
BF	BUTTERFLY VALVE
CHV	CHECK VALVE
CO	CLEAN OUT
CV	CONTROL VALVE
CWFU	COLD WATER FIXTURE UNITS
DFU	DRAINAGE FIXTURE UNITS
E	EXISTING (SAN, HW, CW, ETC.)
FFFE	FINISH FLOOR ELEVATION
FCO	FLOOR CLEAN OUT
FTR	FINNED TUBE RADIATION
GM	GAS METER
G	GAS
GV	GATE VALVE
GLV	GLOBE VALVE
HWFU	HOT WATER FIXTURE UNITS
HWV	HOT WATER VALVE
IE	INVERT ELEVATION
N	NATURAL GAS
OCI	OWNER FURNISHED, CONTRACTOR INSTALLED
RPZ	REDUCED PRESSURE BACKFLOW PREVENTOR
R	GAS PRESSURE REGULATOR
SF	SQUARE FEET
SFU	SUPPLY FIXTURE UNITS
ST	STORM SEWER
TYP.	TYPICAL
DN	DOWN
VA	VACUUM LINE
VTR	VENT THRU ROOF
WCO	WALL CLEAN OUT
WM	WATER METER
YCO	YARD CLEAN OUT

<u>W-X</u>	WATER CLOSET
<u>UR-X</u>	URINAL
<u>L-X</u>	LAVATORY
<u>S-X</u>	SINK
<u>DF-X</u>	DRINKING FOUNTAIN
<u>FEW-X</u>	ELECTRIC WATER COOLER
<u>RF-X</u>	BOTTLE FILLING STATION
<u>RFWC-X</u>	BOTTLE FILLING WATER COOLER
<u>TMV-X</u>	THERMOSTATIC MIXING VALVE
<u>DW-X</u>	DISHWASHER
<u>WB-X</u>	WASHER BOX
<u>MS-X</u>	MOP SINK
<u>LT-X</u>	LAUNDRY TUB
<u>FEW-X</u>	EMERGENCY EYEWASH
<u>FEW-X</u>	EMERGENCY EYEWASH / SHOWER
<u>BT-X</u>	TUB / SHOWER
<u>SH-X</u>	SHOWER
<u>H-X</u>	FREEZELESS WALL HYDRANT
<u>HB-X</u>	HOSE BIBB
<u>RH-X</u>	FREEZELESS ROOF HYDRANT
<u>FD-X</u>	FLOOR DRAIN
<u>TD-X</u>	TRENCH DRAIN
<u>FS-X</u>	FLOOR SINK
<u>RD-X</u>	ROOF DRAIN
<u>QRD-X</u>	OVERFLOW ROOF DRAIN
<u>DS-X</u>	DOWN SPOUT
<u>HWPC-X</u>	HOT WATER RECIRC PUMP
<u>SP-X</u>	SUMP PUMP

KE-X	KITCHEN EQUIPMENT
-------------	--------------------------

NOTE: NOT ALL ABBREVIATIONS MAY BE USED ON THIS PROJECT

P001	PLUMBING SYMBOLS AND LEGEND
P100	PLUMBING DEMOLITION PLAN - UNDERGROUND
P101	PLUMBING DEMOLITION PLANS
P102	PLUMBING DEMOLITION PLANS
P103	PLUMBING DEMOLITION PLANS - ROOF & PENTHOUSE
P300	PLUMBING PLAN - UNDERGROUND
P301	PLUMBING PLANS
P302	PLUMBING PLANS
P401	PLUMBING ISOMETRICS
P402	PLUMBING ISOMETRICS
P501	PLUMBING PLANS - ROOF & PENTHOUSE
P601	PLUMBING ENLARGED PLANS
P602	PLUMBING ENLARGED PLANS
P701	PLUMBING DETAILS
P702	PLUMBING DETAILS
P801	PLUMBING SCHEDULES



1600 Marshall Street NE, Suite 1
Minneapolis, MN 55413
 612/331-2222
info@blumentals.com



I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of

MINNESOTA	08-03-26
	sign date
PAUL E. QUIRIN	#26118
	License No.

△ | ISSUES / REVISIONS

1	06-11-26	70% MHFA REVIEW
2	07-13-26	95% MHFA REVIEW
3	08-03-26	100% CD BID SET

EXISTING CONDITIONS

VERIFY ALL EXISTING CONSTRUCTION DIMENSIONS, ELEVATIONS AND CONDITIONS BEFORE STARTING ANY CONSTRUCTION. REVIEW ANY DISCREPANCIES WITH THE ARCHITECT. ADJUST NEW CONSTRUCTION AS REQUIRED.

Empire Apartments

54 4th Ave. N.
St. Cloud, MN 56303

B/A PROJECT NUMBER: **625-47**

PLUMBING SYMBOLS AND LEGEND

THIS DRAWING AND THE INFORMATION THEREIN IS THE PROPERTY OF DESIGN TREE ENGINEERING INC. USE BY THE HOLDER OR DISCLOSURE TO OTHERS WITHOUT THE PERMISSION OF DESIGN TREE ENGINEERING INC. IS PROHIBITED. IT CONTAINS PROPRIETARY AND CONFIDENTIAL INFORMATION OF DESIGN TREE ENGINEERING INC. REPRODUCTION OF THE MATERIAL HEREIN WITHOUT WRITTEN PERMISSION OF DESIGN TREE ENGINEERING INC. VIOLATES THE COPYRIGHT LAWS OF THE UNITED STATES AND WILL SUBJECT THE VIOLATORS TO LEGAL PROSECUTION.

COPYRIGHT © 2026 BY DESIGN TREE ENGINEERING

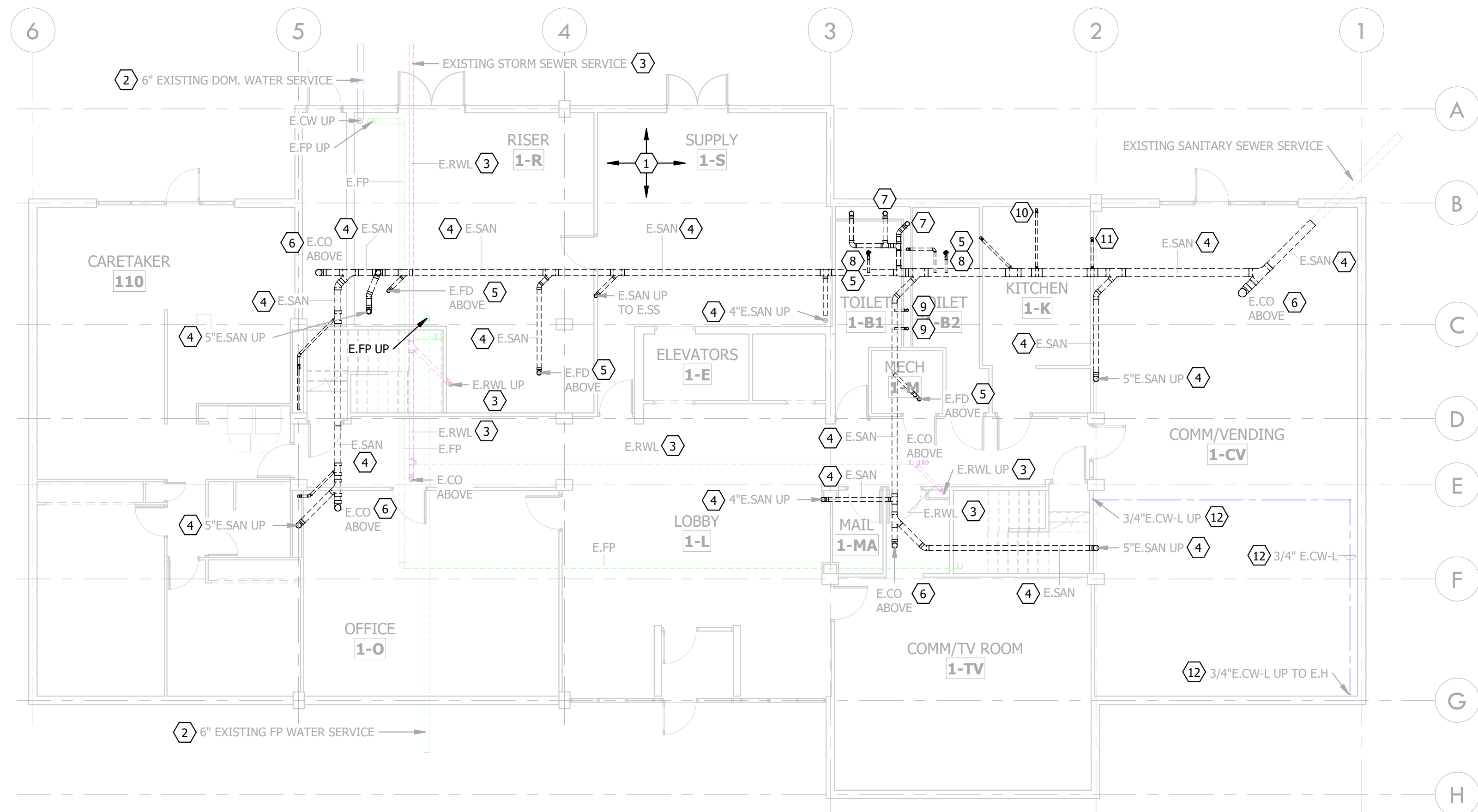
P001



**Blumentals
Architecture**

1600 Marshall Street NE, Suite 1
Minneapolis, MN 55413
612/331-2222
info@blumentals.com

- KEYED NOTES:**
1. COORDINATE WITH ARCHITECTURAL PLANS FOR PHASING.
 2. EXISTING DOMESTIC AND FIRE PROTECTION SERVICES TO REMAIN AS IS.
 3. EXISTING UNDERGROUND STORM PIPING (E.RWL) TO REMAIN AS IS.
 4. DEMO EXISTING UNDERGROUND DWV PIPING AS SHOWN ON PLAN. SAWCUT FLOOR SLAB AND EXCAVATE AS REQUIRED FOR REMOVAL OF UNDERGROUND PIPING. PATCH FLOOR TO MATCH EXISTING. FIELD VERIFY EXISTING LOCATION AND ROUTING PRIOR TO SAWCUTTING.
 5. DEMO EXISTING FLOOR DRAIN AND ALL ASSOCIATED PIPING.
 6. DEMO EXISTING FLOOR CLEANOUT AND ALL ASSOCIATED PIPING.
 7. 4" SAN UP TO E.WC. DEMO E.SAN UP TO E.WC.
 8. 2" SAN UP TO E.FD.
 9. 2" SAN UP TO E.LAV. DEMO E.SAN UP TO E.LAV.
 10. 2" SAN UP TO E.SINK. DEMO E.SAN UP TO E.SINK.
 11. 2" SAN UP TO E.EWC. DEMO E.SAN UP TO E.EWC.
 12. EXISTING UNDERGROUND DOMESTIC WATER PIPING TO REMAIN AS IS.



DESIGN TREE
engineering + land surveying

Corporate Office:
120 17th Ave W, Alexandria, MN 56308
888-218-1916
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of

MINNESOTA
PAUL E. QUIRIN
sign date
#26118
License No.

△	ISSUES / REVISIONS
1	06-11-26 70% MHFA REVIEW
2	07-13-26 95% MHFA REVIEW
3	08-03-26 100% CD BID SET

EXISTING CONDITIONS

VERIFY ALL EXISTING CONSTRUCTION DIMENSIONS, ELEVATIONS AND CONDITIONS BEFORE STARTING ANY CONSTRUCTION. REVIEW ANY DISCREPANCIES WITH THE ARCHITECT. ADJUST NEW CONSTRUCTION AS REQUIRED.

Empire Apartments

54 4th Ave. N.
St. Cloud, MN 56303

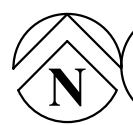
B/A PROJECT NUMBER: **625-47**

PLUMBING DEMOLITION PLAN
- UNDERGROUND

P100

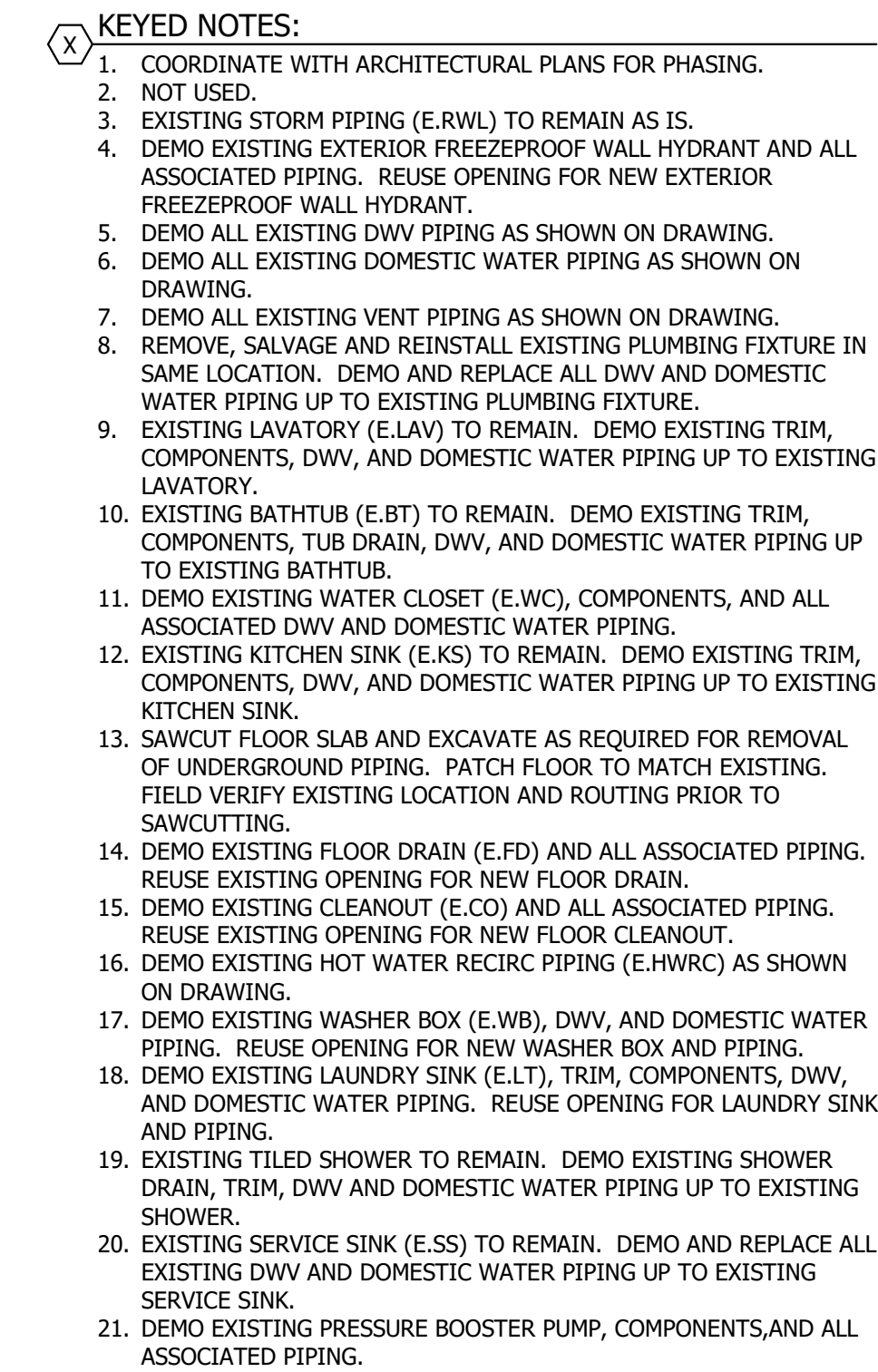
8/3/2026 11:33:55 AM

Autosaved: Docs\Empire Apartments\1126002_Empire_Apts_2.dwg



PLUMBING DEMOLITION PLAN - UNDERGROUND

1/8" = 1'-0"
0 4' 8' 16'



1600 Marshall Street NE, Suite 1
Minneapolis, MN 55413
 612/331-2222
 info@blumentals.com



Corporate Office:
120 17th Ave W Alexandria, MN 56308
888-216-1916

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of

MINNESOTA
PAUL E. QUIRIN
08-03-26
sign date
#26118
License No.

△	ISSUES / REVISIONS	
1	06-11-26	70% MHFA REVIEW
2	07-13-26	95% MHFA REVIEW
3	08-03-26	100% CD BID SET

EXISTING CONDITIONS

VERIFY ALL EXISTING CONSTRUCTION DIMENSIONS, ELEVATIONS AND CONDITIONS BEFORE STARTING ANY CONSTRUCTION. REVIEW ANY DISCREPANCIES WITH THE ARCHITECT. ADJUST NEW CONSTRUCTION AS REQUIRED.

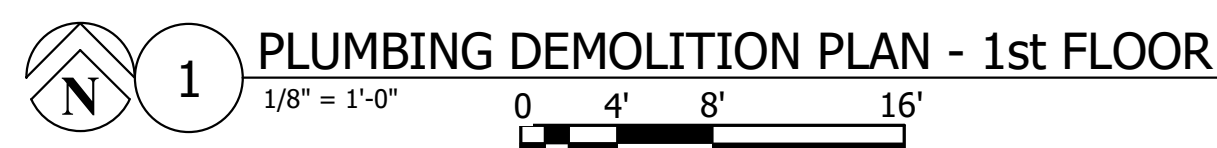
Empire Apartments

54 4th Ave. N.
St. Cloud, MN 56303

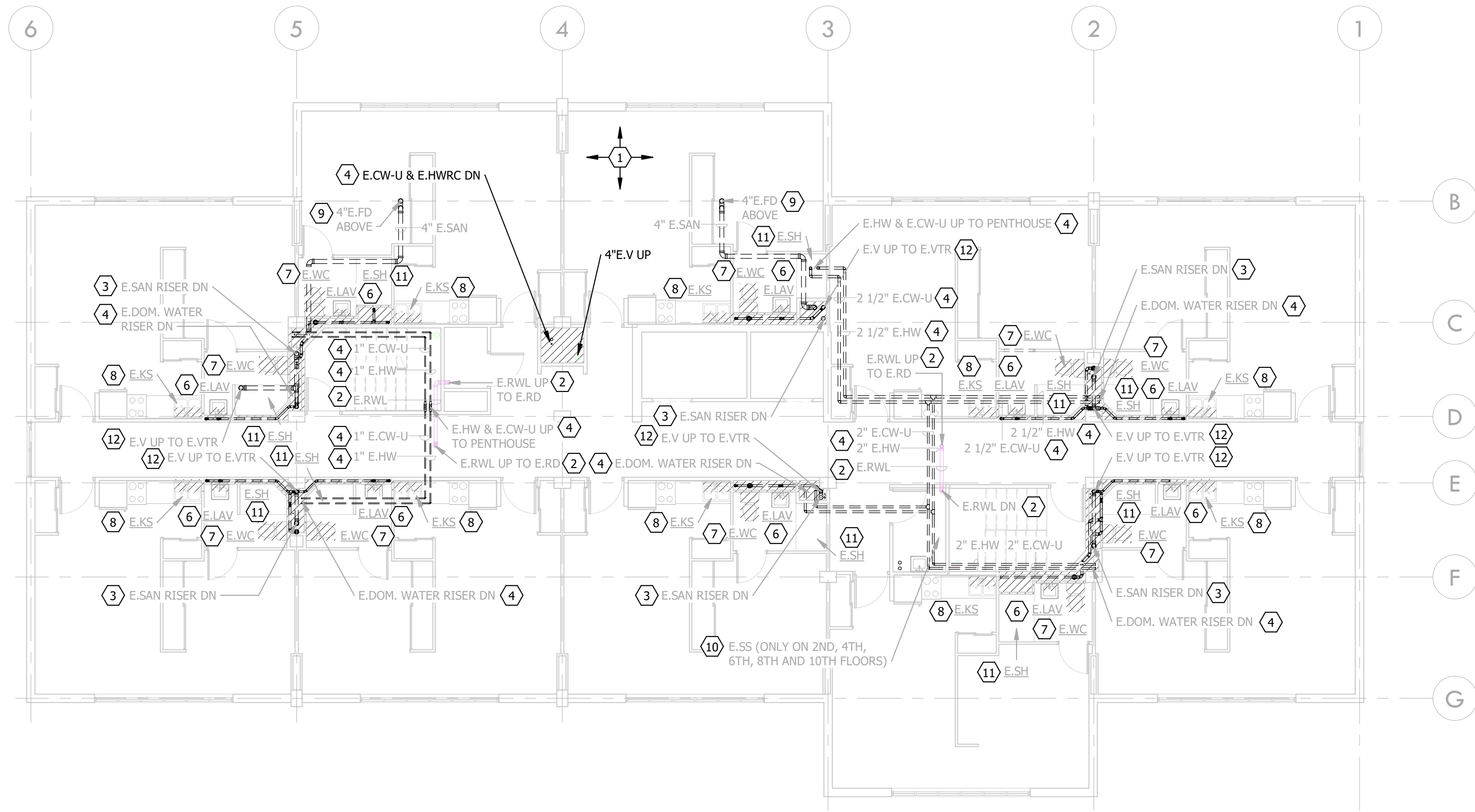
B/A PROJECT NUMBER: **625-47**

PLUMBING DEMOLITION
PLANS

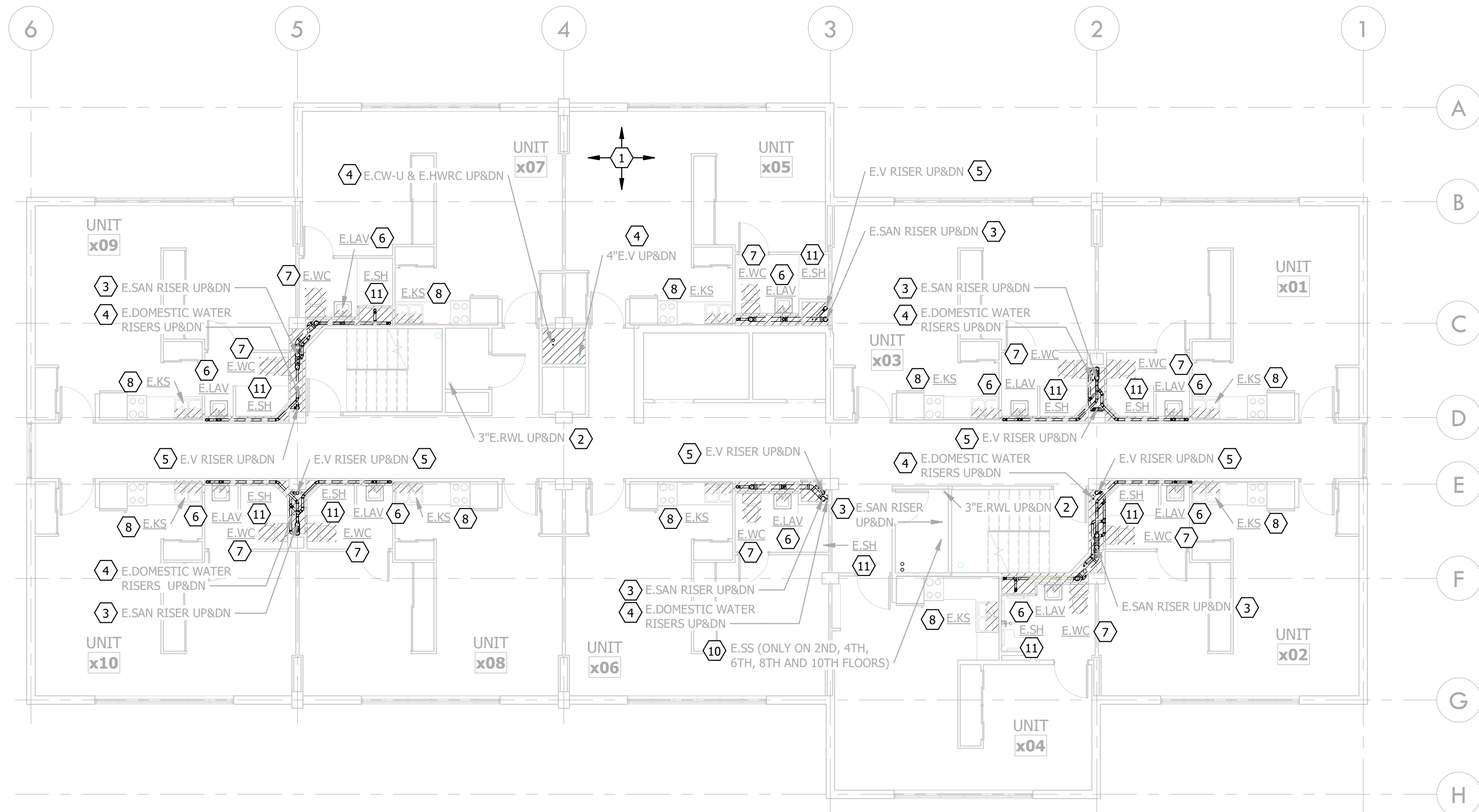
P101



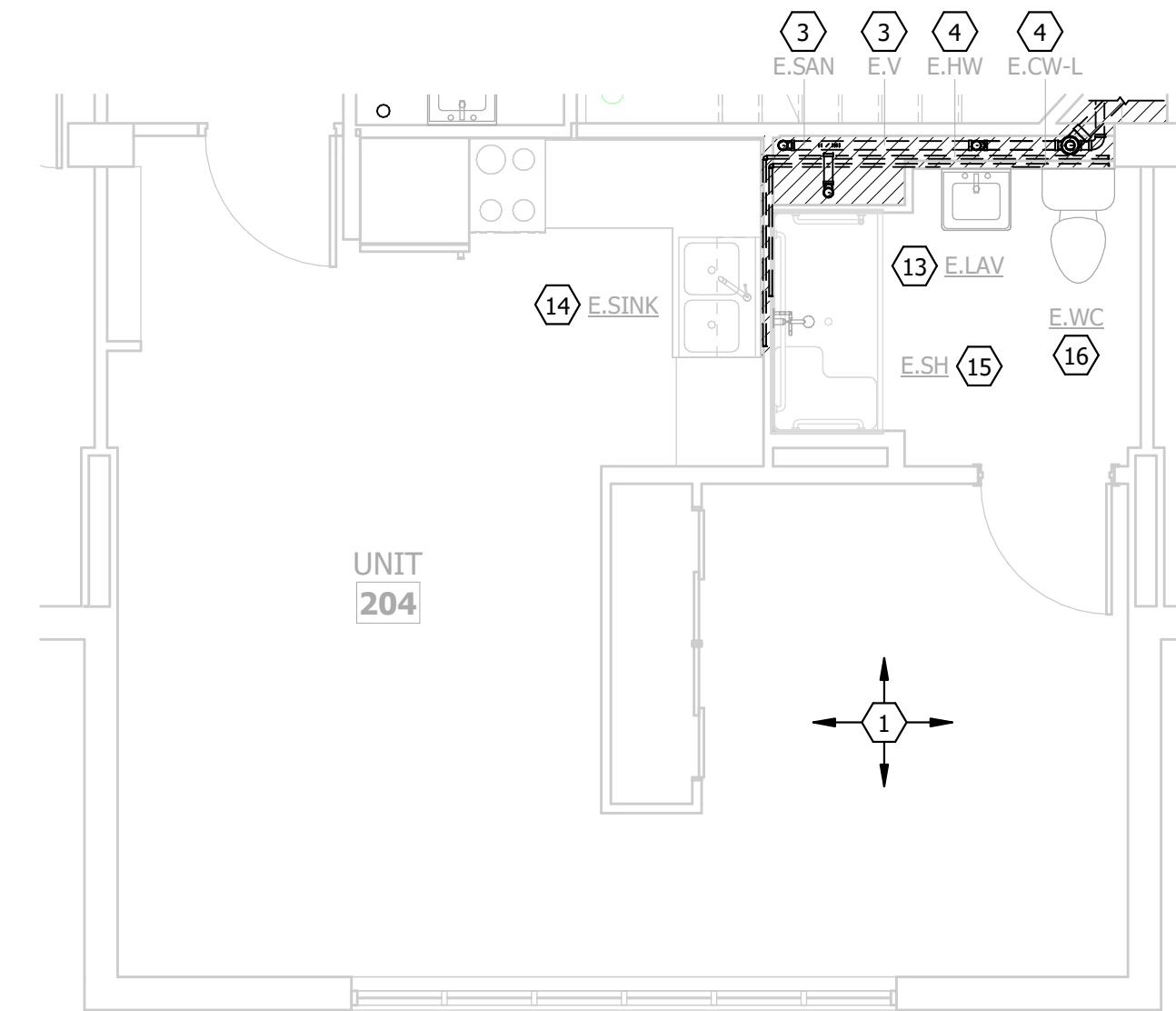
3/3/2026 11:34:00 AM
Autodesk Docs:/Empire Apartments/11126002_Empire_Apts_P_R26.rvt



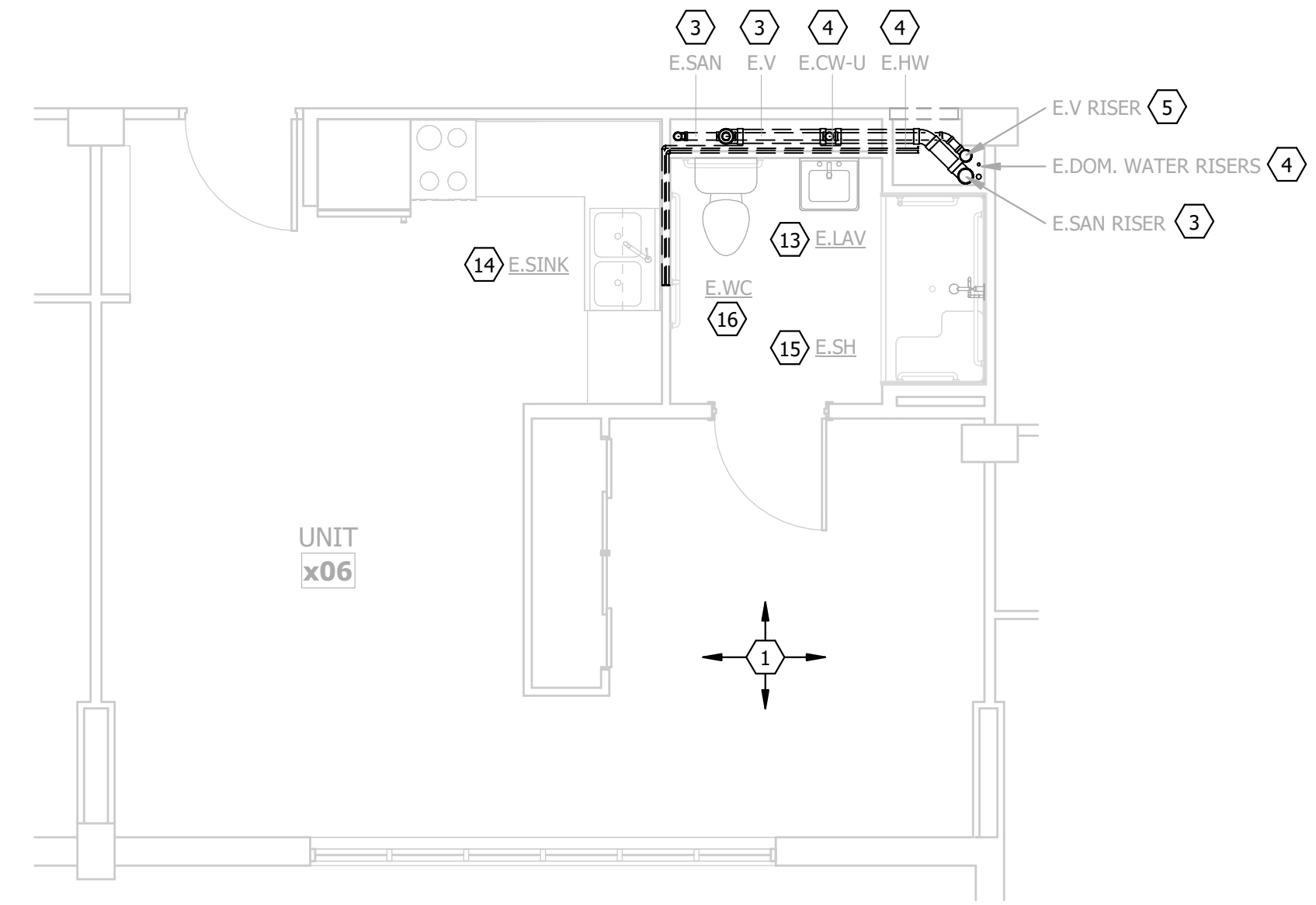
2 PLUMBING DEMOLITION PLAN - 10TH FLOOR
1/8" = 1'-0"



1 PLUMBING DEMOLITION PLAN - 3RD-9TH FLOORS TYPICAL
1/8" = 1'-0"



4 ENLARGED PLUMBING DEMOLITION PLAN - TYPICAL ADA UNITS 204 / 304
1/4" = 1'-0"



5 ENLARGED PLUMBING DEMOLITION PLAN - TYPICAL ADA UNITS 406 / 506 / 606
1/4" = 1'-0"

- KEYED NOTES:**
- COORDINATE WITH ARCHITECTURAL PLANS FOR PHASING.
 - EXISTING STORM PIPING (E.RWL) TO REMAIN AS IS.
 - DEMO ALL EXISTING DWV PIPING AS SHOWN ON DRAWING.
 - DEMO ALL EXISTING DOMESTIC WATER PIPING AS SHOWN ON DRAWING.
 - DEMO ALL EXISTING VENT PIPING AS SHOWN ON DRAWING.
 - EXISTING LAVATORY (E.LAV) TO REMAIN. DEMO EXISTING TRIM, COMPONENTS, DWV, AND DOMESTIC WATER PIPING UP TO EXISTING LAVATORY.
 - DEMO EXISTING WATER CLOSET (E.WC), COMPONENTS, AND ALL DWV AND DOMESTIC WATER PIPING.
 - EXISTING KITCHEN SINK (E.KS) TO REMAIN. DEMO EXISTING TRIM, COMPONENTS, DWV, AND DOMESTIC WATER PIPING UP TO EXISTING KITCHEN SINK.
 - DEMO EXISTING FLOOR DRAIN (E.FD) AND ALL ASSOCIATED PIPING. REUSE EXISTING OPENING FOR NEW FLOOR DRAIN.
 - EXISTING SERVICE SINK (E.SS) TO REMAIN. DEMO AND REPLACE ALL EXISTING DWV AND DOMESTIC WATER PIPING UP TO EXISTING SERVICE SINK.
 - EXISTING TILED SHOWER (E.SH) TO REMAIN. DEMO EXISTING SHOWER DRAIN, TRIM, DWV AND DOMESTIC WATER PIPING UP TO EXISTING SHOWER.
 - DEMO EXISTING VTR (E.VTR). REUSE OPENING FOR NEW VTR.
 - EXISTING LAVATORY (E.LAV) AND TRIM TO REMAIN. DEMO AND REPLACE ALL EXISTING DWV AND DOMESTIC WATER PIPING UP TO EXISTING LAVATORY.
 - EXISTING KITCHEN SINK (E.SINK) AND TRIM TO REMAIN. DEMO AND REPLACE ALL EXISTING DWV AND DOMESTIC WATER PIPING UP TO EXISTING SINK.
 - EXISTING SHOWER (E.SH), SHOWER DRAIN AND TRIM TO REMAIN. DEMO AND REPLACE ALL EXISTING DWV AND DOMESTIC WATER PIPING UP TO EXISTING SHOWER.
 - REMOVE, SALVAGE, AND REINSTALL EXISTING WATER CLOSET (E.WC). DEMO AND REPLACE ALL EXISTING DWV AND DOMESTIC WATER PIPING.



**Blumentals
Architecture**

1600 Marshall Street NE, Suite 1
Minneapolis, MN 55413
612/331-2222
info@blumentals.com

DESIGN TREE
engineering + land surveying

Corporate Office:
120 17th Ave W, Alexandria, MN 56308
888-210-1916

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of

MINNESOTA
sign date
08-03-26

PAUL E. QUIRIN
#26118
License No.

ISSUES / REVISIONS

1	06-11-26	70% MHFA REVIEW
2	07-13-26	95% MHFA REVIEW
3	08-03-26	100% CD BID SET

EXISTING CONDITIONS

VERIFY ALL EXISTING CONSTRUCTION DIMENSIONS, ELEVATIONS AND CONDITIONS BEFORE STARTING ANY CONSTRUCTION. REVIEW ANY DISCREPANCIES WITH THE ARCHITECT. ADJUST NEW CONSTRUCTION AS REQUIRED.

Empire Apartments

54 4th Ave. N.
St. Cloud, MN 56303

B/A PROJECT NUMBER: **625-47**

PLUMBING DEMOLITION
PLANS

P102

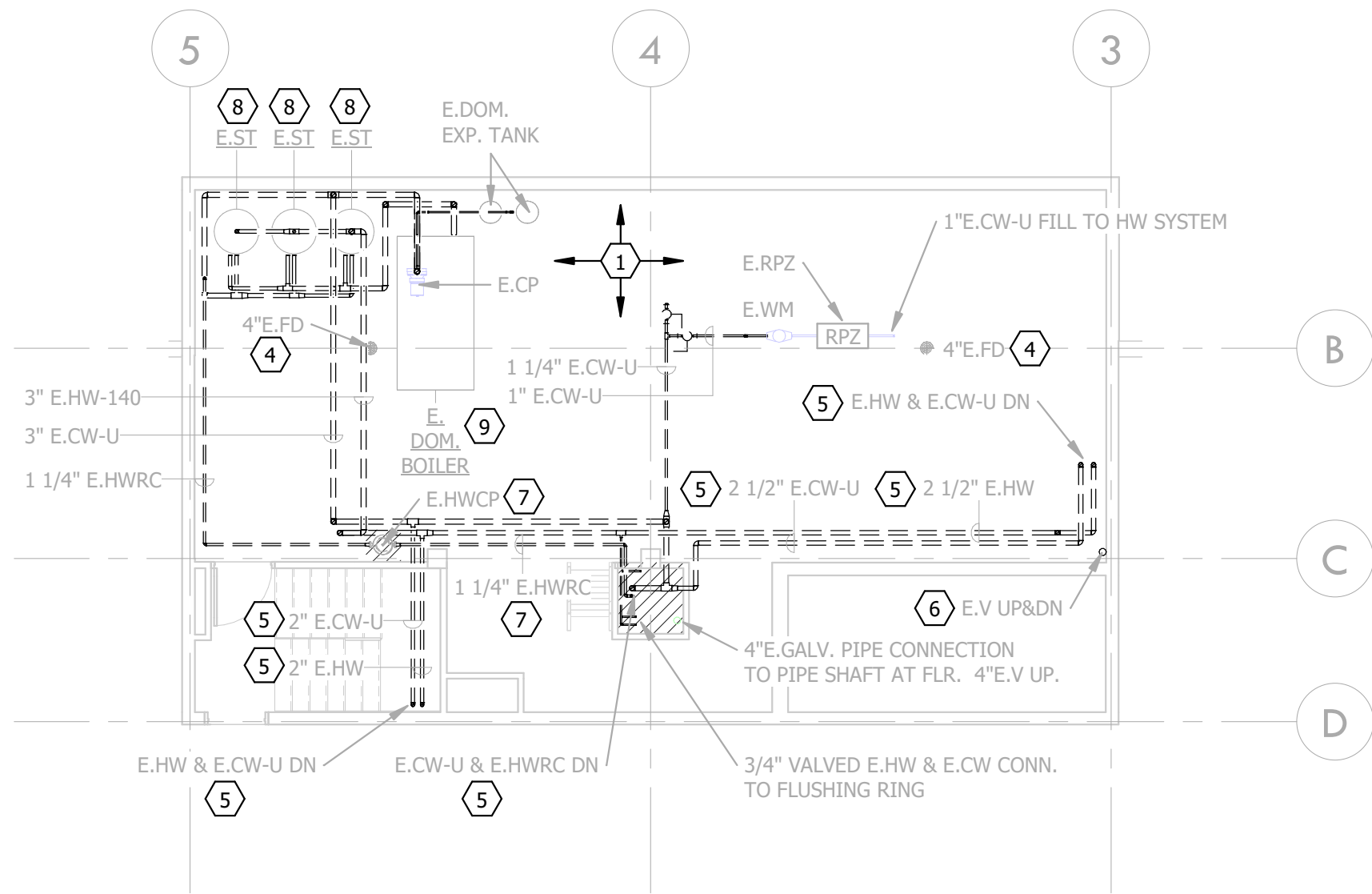


**Blumentals
Architecture**

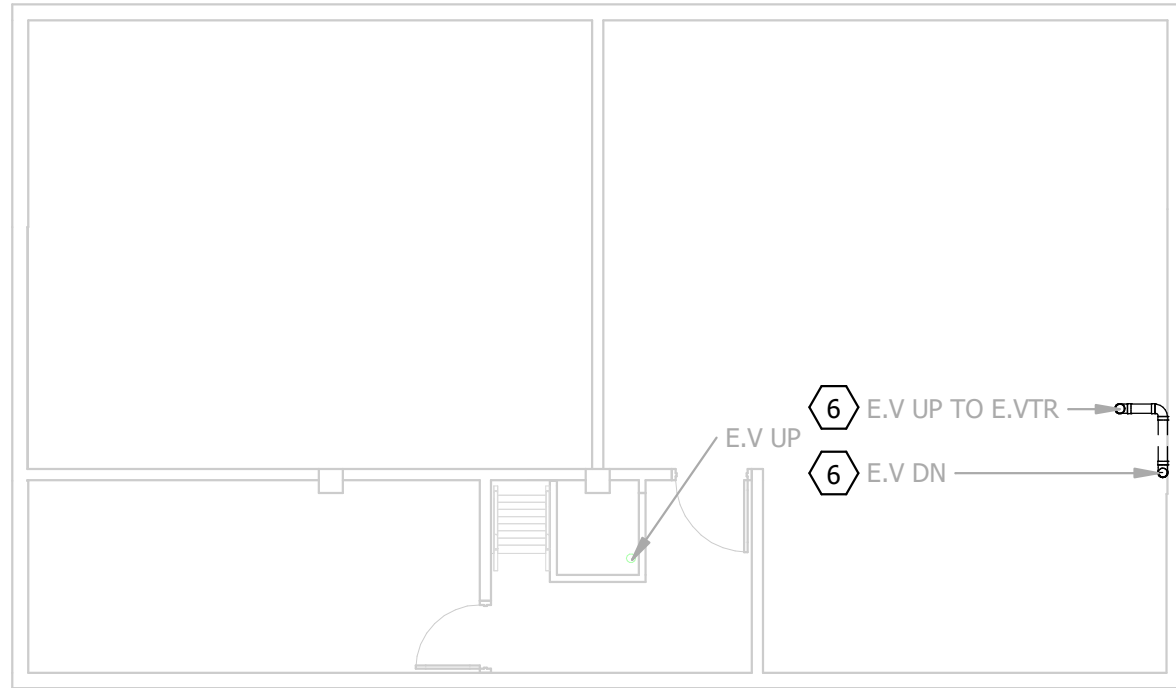
1600 Marshall Street NE, Suite 1
Minneapolis, MN 55413
612/331-2222
info@blumentals.com

KEYED NOTES:

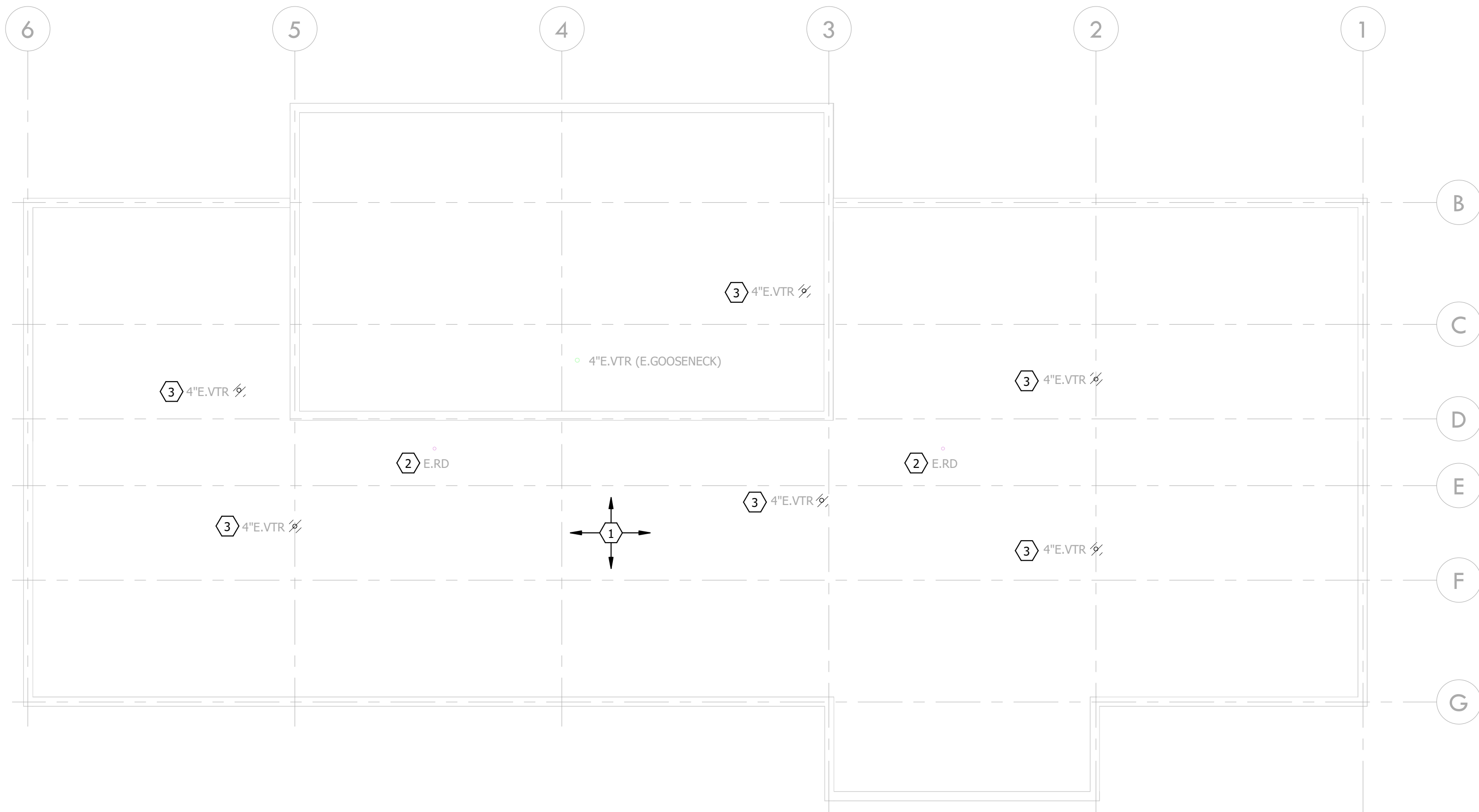
1. COORDINATE WITH ARCHITECTURAL PLANS FOR PHASING.
2. EXISTING STORM PIPING AND EXISTING ROOF DRAIN (E.RD) TO REMAIN AS IS.
3. DEMO EXISTING VTR (E.VTR). REUSE OPENING FOR NEW VTR.
4. DEMO EXISTING FLOOR DRAIN (E.FD) AND ALL ASSOCIATED PIPING. REUSE EXISTING OPENING FOR NEW FLOOR DRAIN.
5. DEMO ALL EXISTING DOMESTIC WATER PIPING AS SHOWN ON DRAWING.
6. DEMO ALL EXISTING VENT PIPING AS SHOWN ON DRAWING.
7. DEMO EXISTING HOT WATER RECIRC PIPING (E.HWRC) AND EXISTING RECIRC PUMP (E.HWCP) AS SHOWN ON DRAWING.
8. EXISTING DOMESTIC HOT WATER STORAGE TANKS TO REMAIN. DEMO AND MODIFY DOMESTIC WATER PIPING AS REQUIRED FOR NEW CONSTRUCTION.
9. EXISTING NATURAL GAS DOMESTIC HOT WATER HEATER TO REMAIN. DEMO AND MODIFY DOMESTIC WATER PIPING AS REQUIRED FOR NEW CONSTRUCTION.



2 PLUMBING DEMOLITION PLAN - PENTHOUSE
1/8" = 1'-0"
0 4' 8' 16'



3 PLUMBING DEMOLITION PLAN - PENTHOUSE UPPER LEVEL
1/8" = 1'-0"
0 4' 8' 16'



1 PLUMBING DEMOLITION PLAN - ROOF
1/8" = 1'-0"
0 4' 8' 16'

DESIGN TREE
engineering + land surveying

Corporate Office:
120 17th Ave W, Alexandria, MN 56308
888-216-1916

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of

MINNESOTA
PAUL E. QUIRIN
sign date
#26118
License No.

△	ISSUES / REVISIONS
1	06-11-26 70% MHFA REVIEW
2	07-13-26 95% MHFA REVIEW
3	08-03-26 100% CD BID SET

EXISTING CONDITIONS

VERIFY ALL EXISTING CONSTRUCTION DIMENSIONS, ELEVATIONS AND CONDITIONS BEFORE STARTING ANY CONSTRUCTION. REVIEW ANY DISCREPANCIES WITH THE ARCHITECT. ADJUST NEW CONSTRUCTION AS REQUIRED.

Empire Apartments

54 4th Ave. N.
St. Cloud, MN 56303

B/A PROJECT NUMBER: **625-47**

**PLUMBING DEMOLITION
PLANS - ROOF & PENTHOUSE**

P103



**Blumentals
Architecture**

1600 Marshall Street NE, Suite 1
Minneapolis, MN 55413
612/331-2222
info@blumentals.com

- KEYED NOTES:**
1. COORDINATE WITH ARCHITECTURAL PLANS FOR PHASING.
 2. NEW PLUMBING PIPING SHALL BE ROUTED TO MINIMIZE CONFLICTS WITH EXISTING STRUCTURE AND OTHER TRADES, AND MAXIMIZE CEILING HEIGHTS THROUGHOUT THE BUILDING.
 3. NEW DOMESTIC WATER PIPING SHALL BE ROUTED IN A SIMILAR MANNER AS THE EXISTING DOMESTIC WATER PIPING IN EXISTING SHAFTS, CHASES, AND PIPE PENETRATIONS THROUGH WALLS AND FLOORS SHALL BE REUSED WHEREVER POSSIBLE TO MINIMIZE NEW PENETRATIONS.
 4. NEW WASTE AND VENT PIPING SHALL BE ROUTED IN A SIMILAR MANNER AS THE EXISTING WASTE AND VENT PIPING IN EXISTING SHAFTS, CHASES, AND PIPE PENETRATIONS THROUGH WALLS AND FLOORS SHALL BE REUSED WHEREVER POSSIBLE TO MINIMIZE NEW PENETRATIONS.
 5. PLAN VIEW DRAWINGS ARE DIAGRAMMATIC ONLY AND SHALL BE INSTALLED PER ISOMETRIC RISERS.
 6. ALL WASTE PIPING WITHIN THE BUILDING MUST BE PITCHED AT 1/4-INCH PER FOOT MINIMUM WHEREVER POSSIBLE. WHERE SITE CONDITIONS PRECLUDE THIS SLOPE, PIPES 4-INCH AND LARGER MAY BE SLOPED AT 1/8-INCH PER FOOT WHERE APPROVED BY THE ADMINISTRATIVE AUTHORITY.
 7. CLOSELY COORDINATE NEW PLUMBING PIPING WITH UNDERGROUND DUCTWORK.
 8. 3" SAN UP TO FLOOR DRAIN.
 9. 4" SAN UP TO FLOOR DRAIN.
 10. 3" SAN UP TO EXISTING SERVICE SINK.
 11. 4" SAN UP TO EXISTING WATER CLOSET.
 12. 2" SAN UP TO FLOOR DRAIN.
 13. 2" SAN UP TO EXISTING LAVATORY(S).
 14. 2" SAN UP TO EXISTING SINK.
 15. 2" SAN UP TO EXISTING DRINKING FOUNTAIN.
 16. 2" SAN UP TO EXISTING BATHTUB.
 17. 3" SAN UP TO WATER CLOSET.

DESIGN TREE
engineering + land surveying

Corporate Office:
120 17th Ave W Alexandria, MN 56308
888-218-1916

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of

MINNESOTA
PAUL E. QUIRIN
sign date
#26118
license No.

Δ	ISSUES / REVISIONS
1	06-11-26 70% MHFA REVIEW
2	07-13-26 95% MHFA REVIEW
3	08-03-26 100% CD BID SET

EXISTING CONDITIONS

VERIFY ALL EXISTING CONSTRUCTION DIMENSIONS, ELEVATIONS AND CONDITIONS BEFORE STARTING ANY CONSTRUCTION. REVIEW ANY DISCREPANCIES WITH THE ARCHITECT. ADJUST NEW CONSTRUCTION AS REQUIRED.

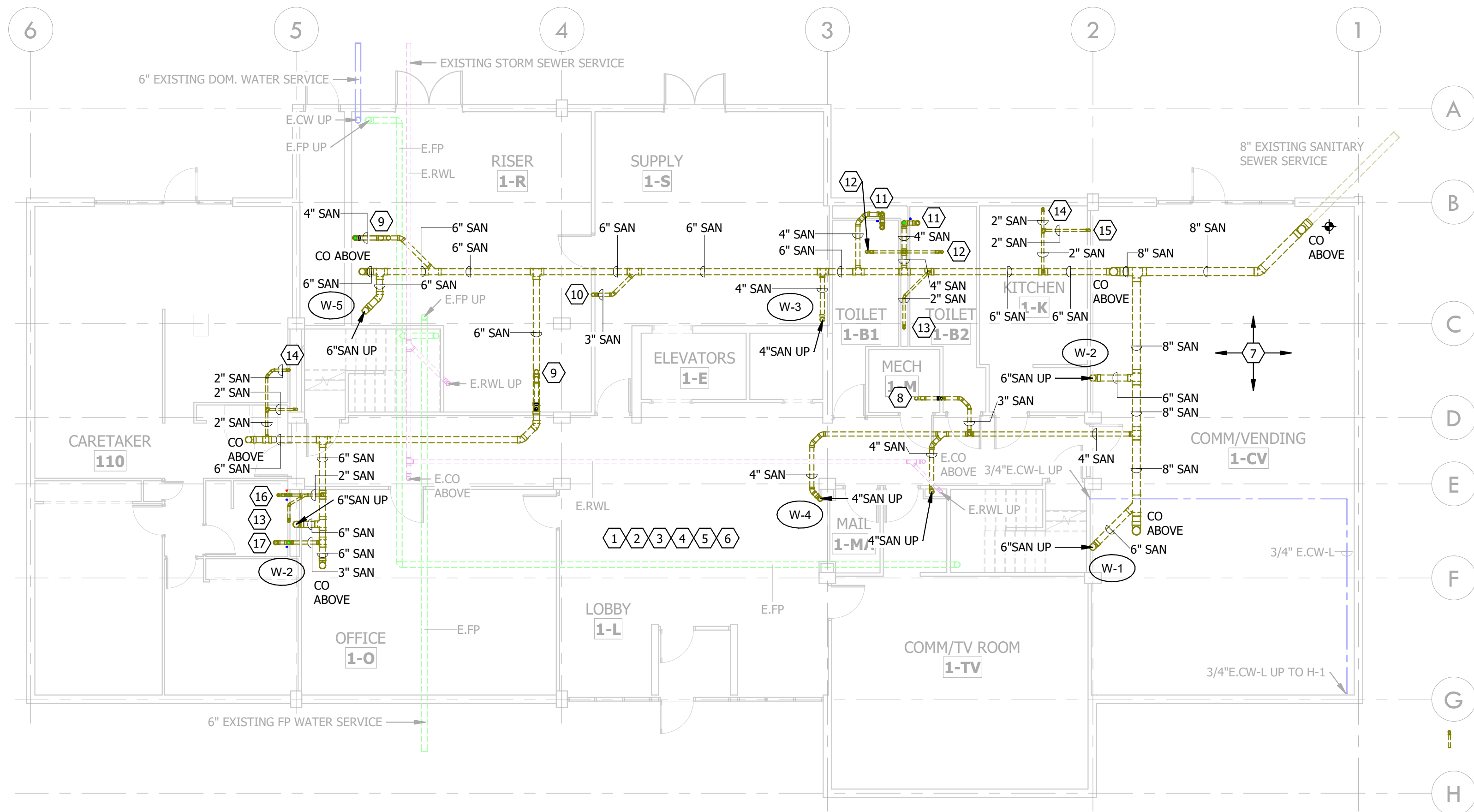
Empire Apartments

54 4th Ave. N.
St. Cloud, MN 56303

B/A PROJECT NUMBER: **625-47**

PLUMBING PLAN -
UNDERGROUND

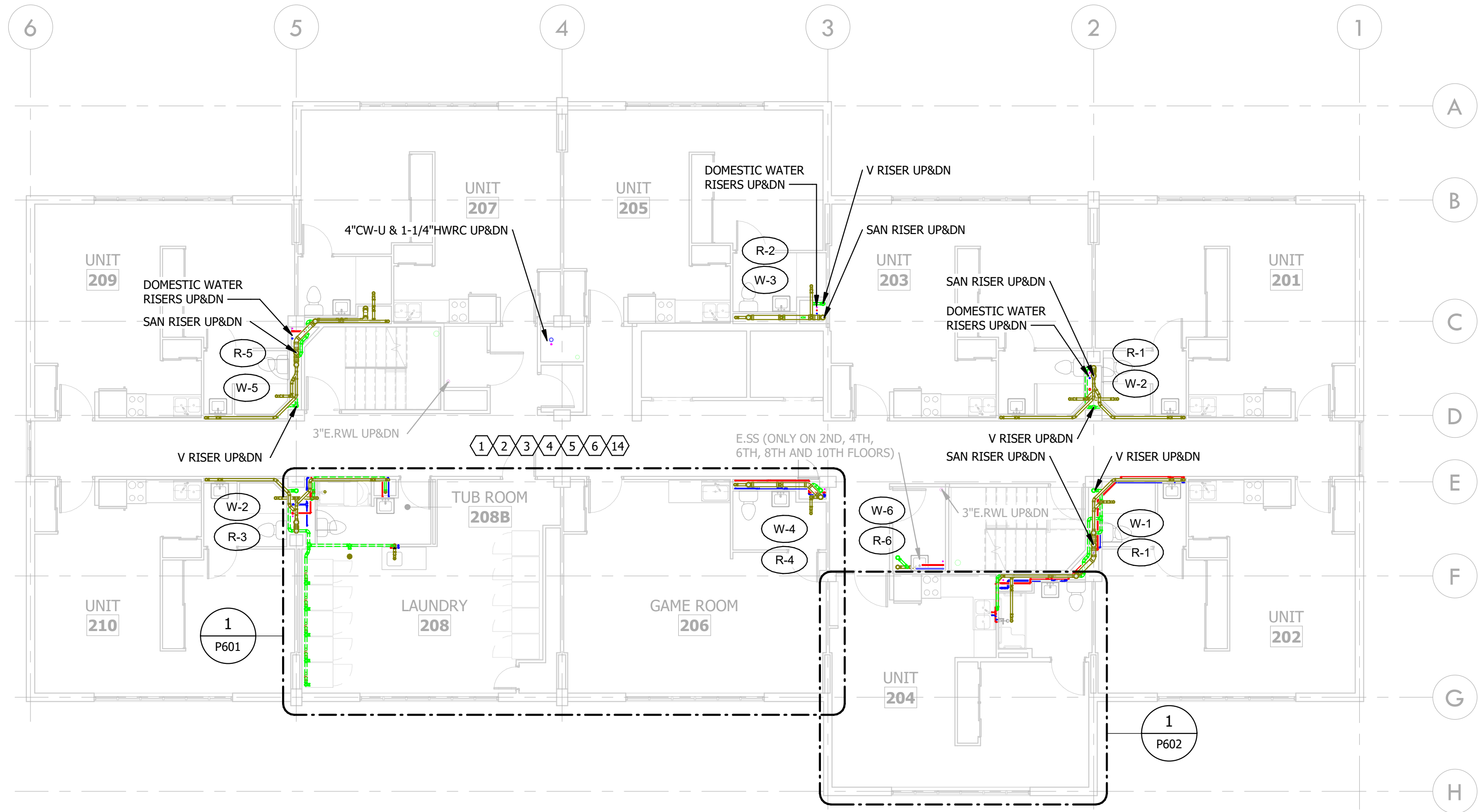
P300



PLUMBING PLAN - UNDERGROUND
1/8" = 1'-0"
0 4' 8' 16'

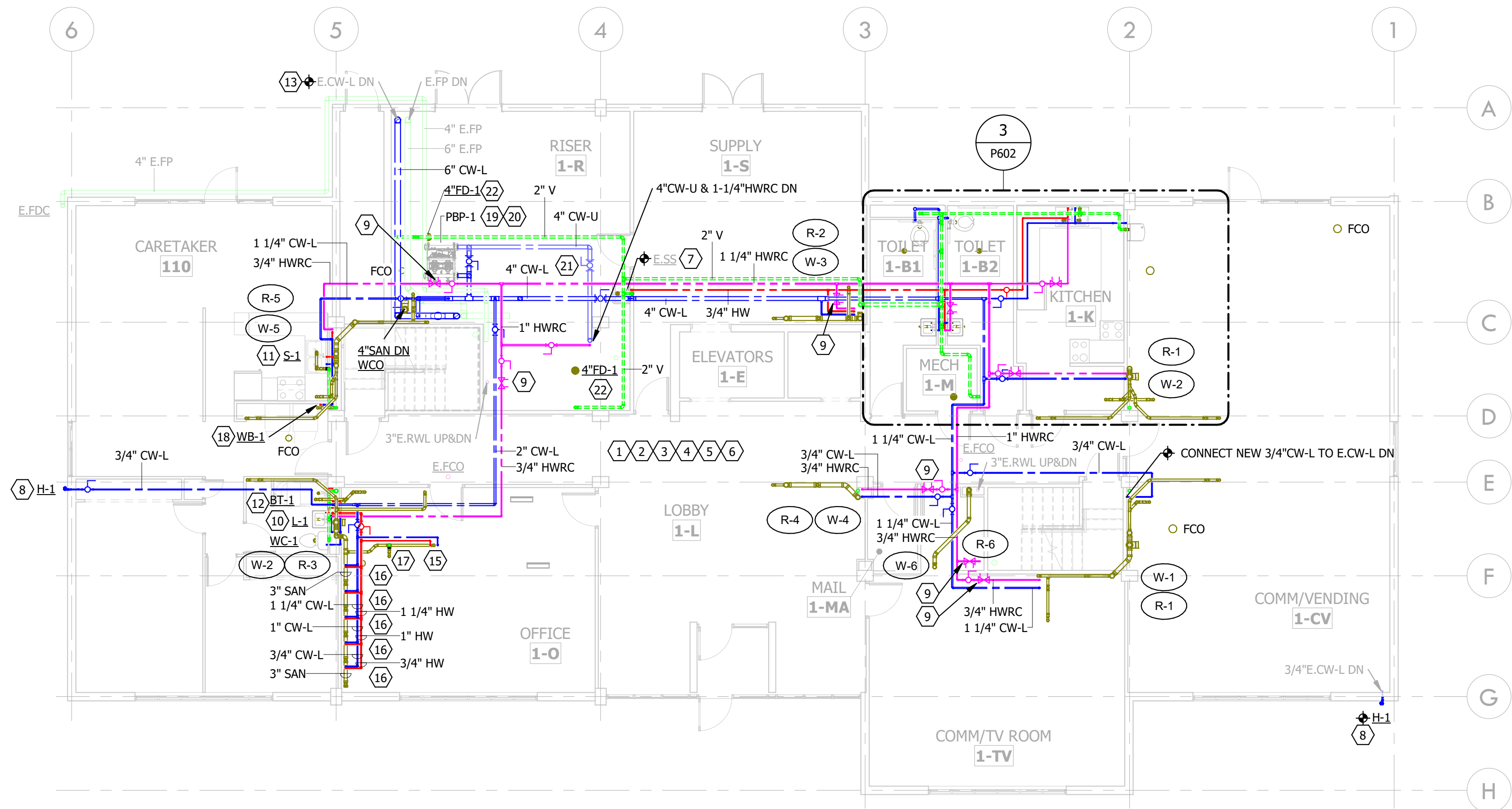
8/3/2026 11:34:08 AM

Autosaved: Docs\Empire Apartments\1130002_Empire_Apts_2_R300.rvt



- KEYED NOTES:**
- COORDINATE WITH ARCHITECTURAL PLANS FOR PHASING.
 - NEW PLUMBING PIPING SHALL BE ROUTED TO MINIMIZE CONFLICTS WITH EXISTING STRUCTURE AND OTHER TRADES, AND MAXIMIZE CEILING HEIGHTS THROUGHOUT THE BUILDING.
 - NEW DOMESTIC WATER PIPING SHALL BE ROUTED IN A SIMILAR MANNER AS THE EXISTING DOMESTIC WATER PIPING IN EXISTING SHAFTS, CHASES, AND PIPE PENETRATIONS THROUGH WALLS AND FLOORS SHALL BE REUSED WHEREVER POSSIBLE TO MINIMIZE NEW PENETRATIONS.
 - NEW WASTE AND VENT PIPING SHALL BE ROUTED IN A SIMILAR MANNER AS THE EXISTING WASTE AND VENT PIPING IN EXISTING SHAFTS, CHASES, AND PIPE PENETRATIONS THROUGH WALLS AND FLOORS SHALL BE REUSED WHEREVER POSSIBLE TO MINIMIZE NEW PENETRATIONS.
 - PLAN VIEW DRAWINGS ARE DIAGRAMMATIC ONLY AND SHALL BE INSTALLED PER ISOMETRIC RISERS.
 - ALL WASTE PIPING WITHIN THE BUILDING MUST BE PITCHED AT 1/4-INCH PER FOOT MINIMUM WHEREVER POSSIBLE. WHERE SITE CONDITIONS PRECLUDE THIS SLOPE, PIPES 4-INCH AND LARGER MAY BE SLOPED AT 1/8-INCH PER FOOT WHERE APPROVED BY THE ADMINISTRATIVE AUTHORITY.
 - REINSTALL EXISTING PLUMBING FIXTURE IN SAME LOCATION. FIELD VERIFY SIZES AND LOCATION PRIOR TO INSTALLATION.
 - INSTALL NEW PLUMBING FIXTURE IN SAME LOCATION AS EXISTING. FIELD VERIFY SIZES AND LOCATION PRIOR TO INSTALLATION.
 - CIRCUIT SETTER/BALANCING VALVE ASSEMBLY. FIELD VERIFY & MATCH EXISTING FLOW RATE.
 - CONNECT NEW 2"SAN, 1-1/2"V, 1/2"HW, AND 1/2"CW TO E.LAV AND PROVIDE NEW FAUCET (L-1).
 - CONNECT NEW 2"SAN, 1-1/2"V, 1/2"HW, AND 1/2"CW TO E.SINK AND PROVIDE NEW FAUCET (S-1).
 - CONNECT NEW 2"SAN, 1-1/2"V, 1/2"HW, AND 1/2"CW TO E.BT AND PROVIDE NEW TRIM AND DRAIN ASSEMBLY (BT-1).
 - CONNECT NEW DOMESTIC WATER PIPING TO EXISTING DOMESTIC WATER PIPING. PROVIDE ISOLATION VALVE. SEE DETAIL 9/P702.
 - SEE SHEETS P601 AND P602 FOR TYPICAL UNIT PIPING PLANS.
 - 2"SAN, 1/2"HW, AND 1/2"CW-L UP TO LAUNDRY TUB (LT-1).
 - 2"SAN, 3/4"HW, AND 3/4"CW-L UP TO WASHER BOX (WB-1).
 - 2"SAN UP TO FLOOR DRAIN.
 - PROVIDE WATER HAMMER ARRESTORS FOR WASHER BOX, TYPICAL.
 - PROVIDE NEW CONCRETE HOUSEKEEPING PAD FOR DOMESTIC BOOSTER PUMP SYSTEM.
 - PROVIDE LOW PRESSURE CUT-OFF SWITCH AND PRESSURE GAUGE PER MN PLUMBING CODE SECTION 609.8.
 - ISOLATION VALVES SHALL BE INSTALLED AT AN ACCESSIBLE LOCATION/HEIGHT, TYPICAL.
 - COORDINATE FLOOR DRAIN LOCATION WITH ARCHITECTURAL.

2 PLUMBING PLAN - 2nd FLOOR
1/8" = 1'-0"
0 4' 8' 16'



1 PLUMBING PLAN - 1st FLOOR
1/8" = 1'-0"
0 4' 8' 16'

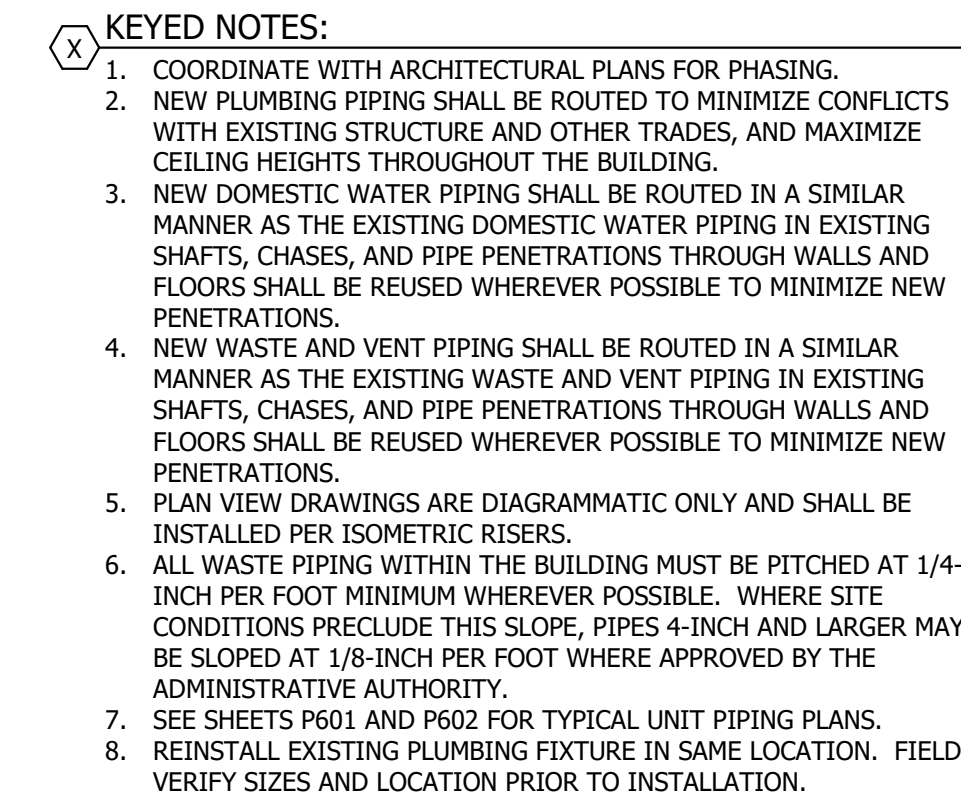
△	ISSUES / REVISIONS
1	06-11-26 70% MHFA REVIEW
2	07-13-26 95% MHFA REVIEW
3	08-03-26 100% CD BID SET

EXISTING CONDITIONS
VERIFY ALL EXISTING CONSTRUCTION DIMENSIONS, ELEVATIONS AND CONDITIONS BEFORE STARTING ANY CONSTRUCTION. REVIEW ANY DISCREPANCIES WITH THE ARCHITECT. ADJUST NEW CONSTRUCTION AS REQUIRED.

Empire Apartments

54 4th Ave. N.
St. Cloud, MN 56303

B/A PROJECT NUMBER: **625-47**
PLUMBING PLANS



1600 Marshall Street NE, Suite 1
Minneapolis, MN 55413
 612/331-2222
info@blumentals.com



Corporate Office:
120 17th Ave W Alexandria, MN 56308
888-216-1916

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of

MINNESOTA
PAUL E. QUIRIN
08-03-26
sign date
#26118
License No.

△	ISSUES / REVISIONS	
1	06-11-26	70% MHFA REVIEW
2	07-13-26	95% MHFA REVIEW
3	08-03-26	100% CD BID SET

EXISTING CONDITIONS

VERIFY ALL EXISTING CONSTRUCTION DIMENSIONS, ELEVATIONS AND CONDITIONS BEFORE STARTING ANY CONSTRUCTION. REVIEW ANY DISCREPANCIES WITH THE ARCHITECT. ADJUST NEW CONSTRUCTION AS REQUIRED.

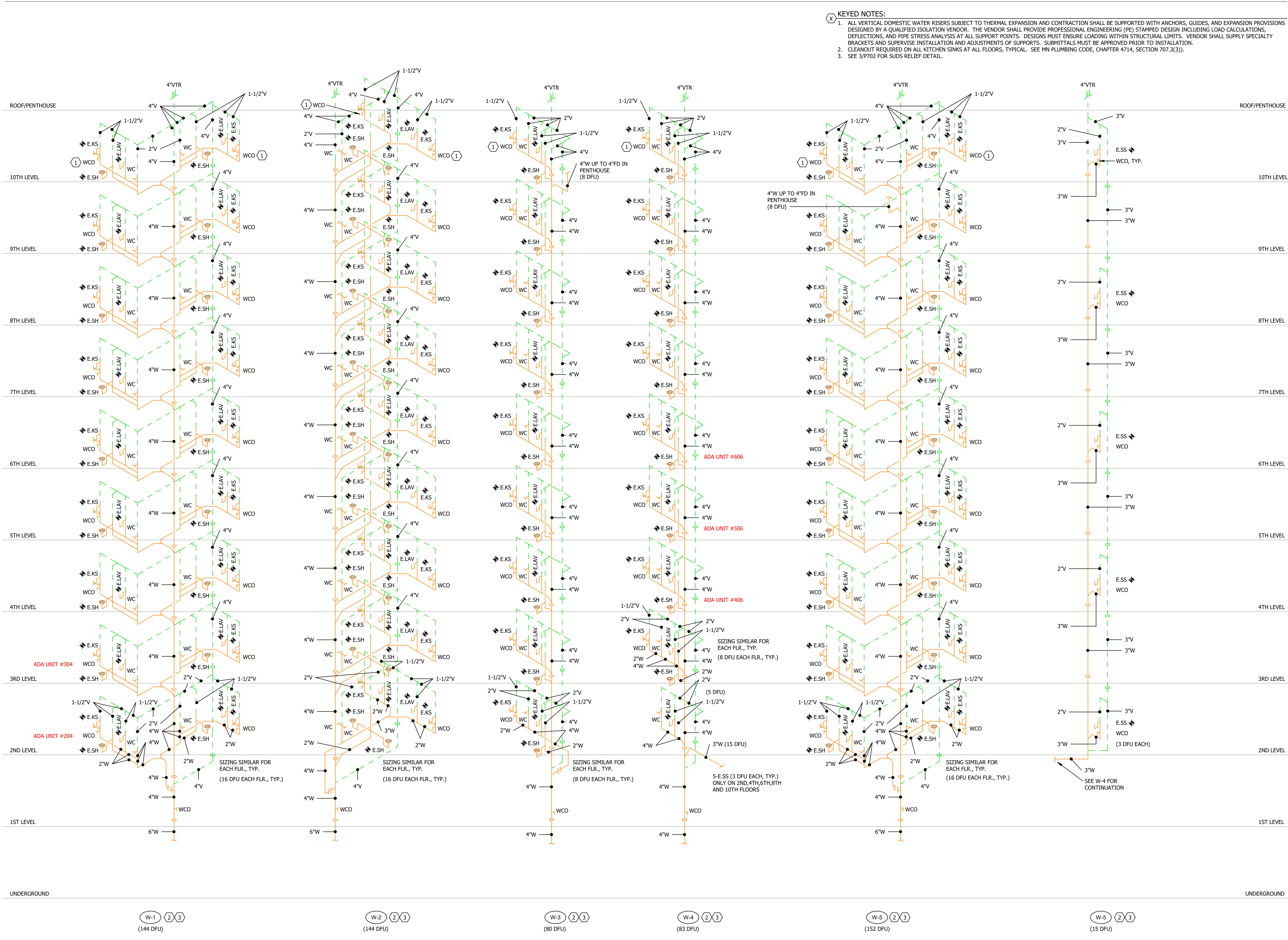
Empire Apartments

54 4th Ave. N.
St. Cloud, MN 56303

B/A PROJECT NUMBER: **625-47**

PLUMBING PLANS

P302



**Blumentals
Architecture**

1600 Marshall Street NE, Suite 1
Minneapolis, MN 55413
612/331-2222
info@blumentals.com

DESIGN TREE
engineering + land surveying

Corporate Office:
120 17th Ave W Alexandria, MN 56308
888-210-1916
I hereby certify that this plan, specification or report was
prepared by me or under my direct supervision and that I am
a duly Licensed Professional Engineer under the laws of the
State of

MINNESOTA	08-03-26
sign date	
PAUL E. QUIRIN	#26118
License No.	

ISSUES / REVISIONS		
1	06-11-26	70% MHFA REVIEW
2	07-13-26	95% MHFA REVIEW
3	08-03-26	100% CD BID SET

EXISTING CONDITIONS
VERIFY ALL EXISTING CONSTRUCTION
DIMENSIONS, ELEVATIONS AND
CONDITIONS BEFORE STARTING ANY
CONSTRUCTION. REVIEW ANY
DISCREPANCIES WITH THE ARCHITECT.
ADJUST NEW CONSTRUCTION AS
REQUIRED.

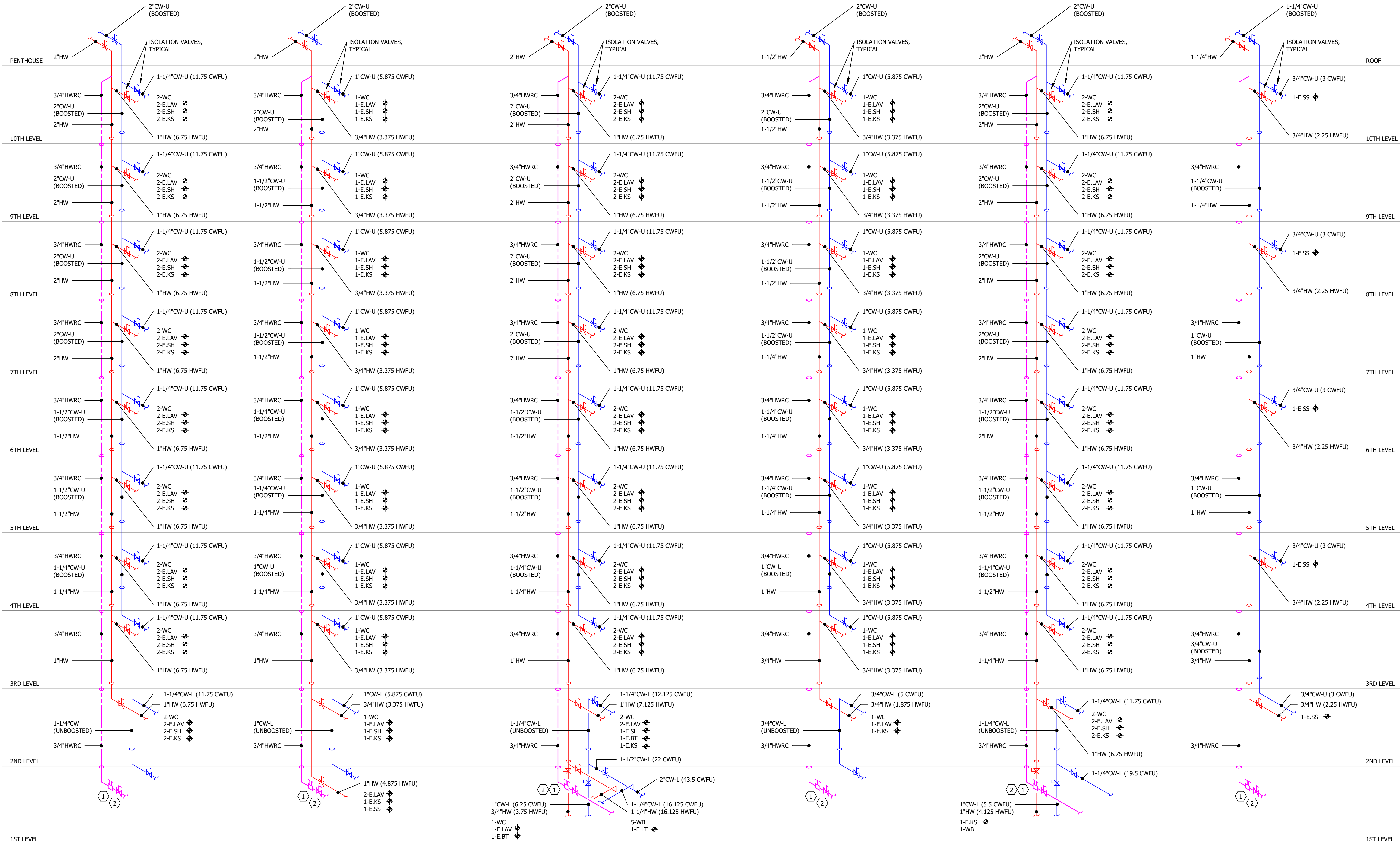
Empire Apartments

54 4th Ave. N.
St. Cloud, MN 56303

B/A PROJECT NUMBER: **625-47**
PLUMBING ISOMETRICS

P401

ROOF



Blumentals Architecture

1600 Marshall Street NE, Suite 1
Minneapolis, MN 55413
612/331-2222
info@blumentals.com

DESIGN TREE
engineering + land surveying

Corporate Office:
120 17th Ave W, Alexandria, MN 56308
888-210-1916
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of

MINNESOTA
08-03-26
sign date
PAUL E. QUIRIN
#26118
License No.

ISSUES / REVISIONS

1	06-11-26	70% MHFA REVIEW
2	07-13-26	95% MHFA REVIEW
3	08-03-26	100% CD BID SET

EXISTING CONDITIONS

VERIFY ALL EXISTING CONSTRUCTION DIMENSIONS, ELEVATIONS AND CONDITIONS BEFORE STARTING ANY CONSTRUCTION. REVIEW ANY DISCREPANCIES WITH THE ARCHITECT. ADJUST NEW CONSTRUCTION AS REQUIRED.

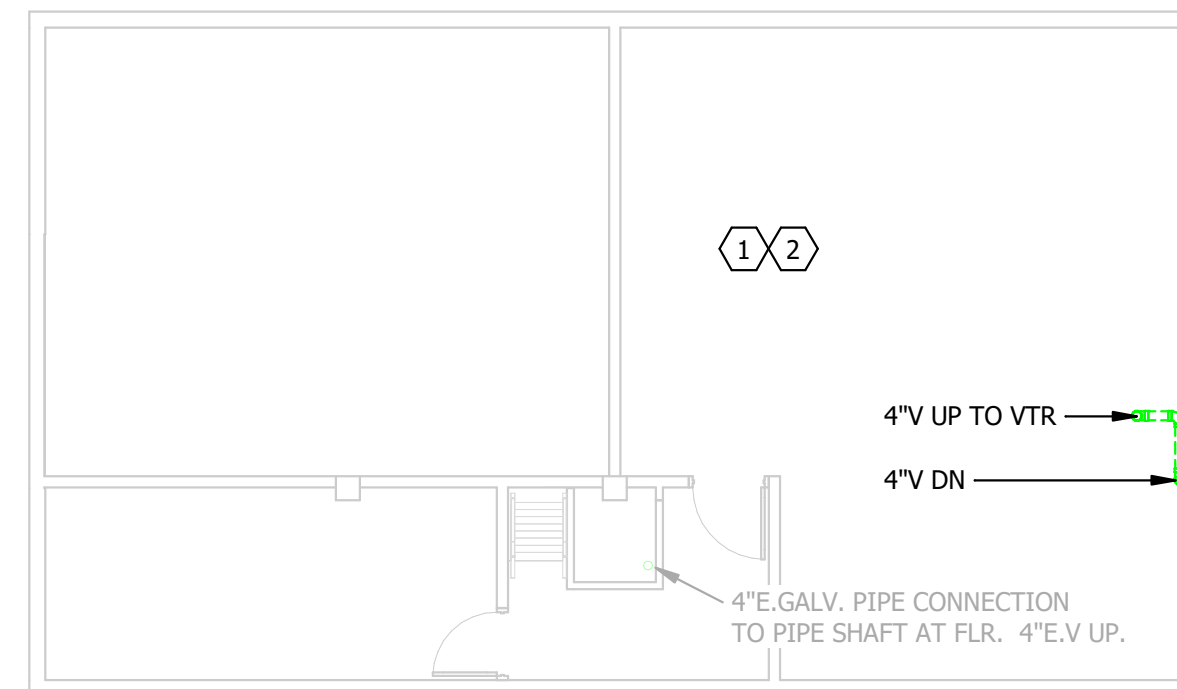
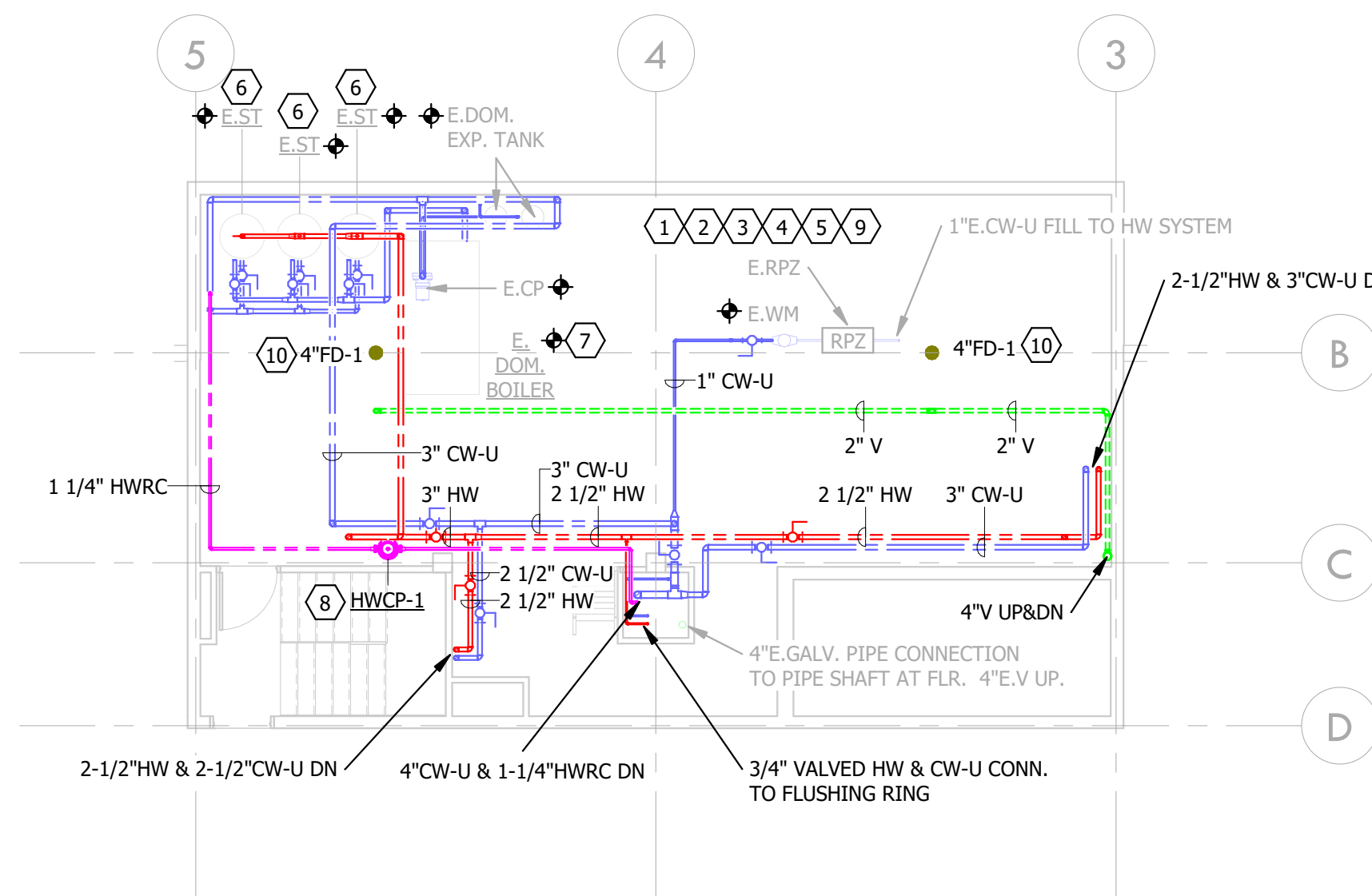
Empire Apartments

54 4th Ave. N.
St. Cloud, MN 56303

B/A PROJECT NUMBER: **625-47**

PLUMBING ISOMETRICS

P402



- KEYED NOTES:**
1. COORDINATE WITH ARCHITECTURAL PLANS FOR PIPING.
 2. NEW PLUMBING PIPING SHALL BE ROUTED TO MINIMIZE CONFLICTS WITH EXISTING STRUCTURE AND OTHER TRADES, AND MAXIMIZE CEILING HEIGHTS THROUGHOUT THE BUILDING.
 3. NEW DOMESTIC WATER PIPING SHALL BE ROUTED IN A SIMILAR MANNER AS THE EXISTING DOMESTIC WATER PIPING IN EXISTING SHAFTS, CHASES, AND PIPE PENETRATIONS THROUGH WALLS AND FLOORS SHALL BE REUSED WHEREVER POSSIBLE TO MINIMIZE NEW PENETRATIONS.
 4. NEW WASTE AND VENT PIPING SHALL BE ROUTED IN A SIMILAR MANNER AS THE EXISTING WASTE AND VENT PIPING IN EXISTING SHAFTS, CHASES, AND PIPE PENETRATIONS THROUGH WALLS AND FLOORS SHALL BE REUSED WHEREVER POSSIBLE TO MINIMIZE NEW PENETRATIONS.
 5. CLOSELY COORDINATE PLUMBING PIPING WITH HYDRONIC PIPING AND DUCTWORK TO MAINTAIN MAXIMUM OVERHEAD CLEARANCES AND NEAT/ORDERLY APPEARANCE AT EXPOSED AREAS.
 6. CONNECT NEW DOMESTIC WATER PIPING TO EXISTING DOMESTIC HOT WATER STORAGE TANKS.
 7. CONNECT NEW DOMESTIC WATER PIPING TO EXISTING NATURAL GAS DOMESTIC HOT WATER HEATER.
 8. FIELD VERIFY RACI LOCATION FOR HOT WATER RECIRCULATION PUMPS AND INSTALL IN AN ACCESSIBLE LOCATION.
 9. SEE DETAIL 10/P701.
 10. COORDINATE FLOOR DRAIN LOCATION WITH ARCHITECTURAL PLANS.



600 Marshall Street NE, Suite 1
Minneapolis, MN 55413
12/331-2222
info@blumentals.com

DESIGN  TREE
engineering + land surveying

Corporate Office:
20 17th Ave W Alexandria, MN 56308

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of

MINNESOTA 08-03-26

PAUL E. QUIRIN #26118
License No.

△	ISSUES / REVISIONS	
1	06-11-26	70% MHFA REVIEW
2	07-13-26	95% MHFA REVIEW
3	08-03-26	100% CD BID SET

EXISTING CONDITIONS

VERIFY ALL EXISTING CONSTRUCTION
DIMENSIONS, ELEVATIONS AND
CONDITIONS BEFORE STARTING ANY
CONSTRUCTION. REVIEW ANY
DISCREPANCIES WITH THE ARCHITECT.
ADJUST NEW CONSTRUCTION AS
REQUIRED.

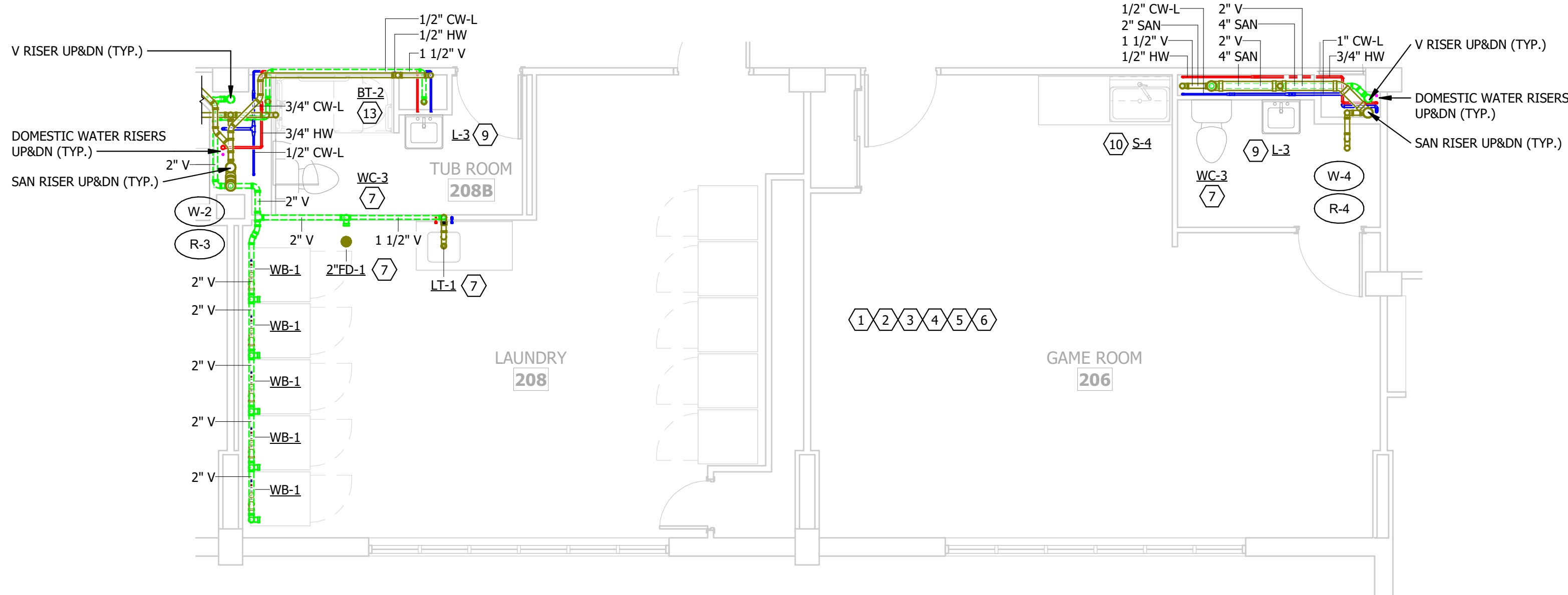
Empire Apartments

54 4th Ave. N.
St. Cloud, MN 56303

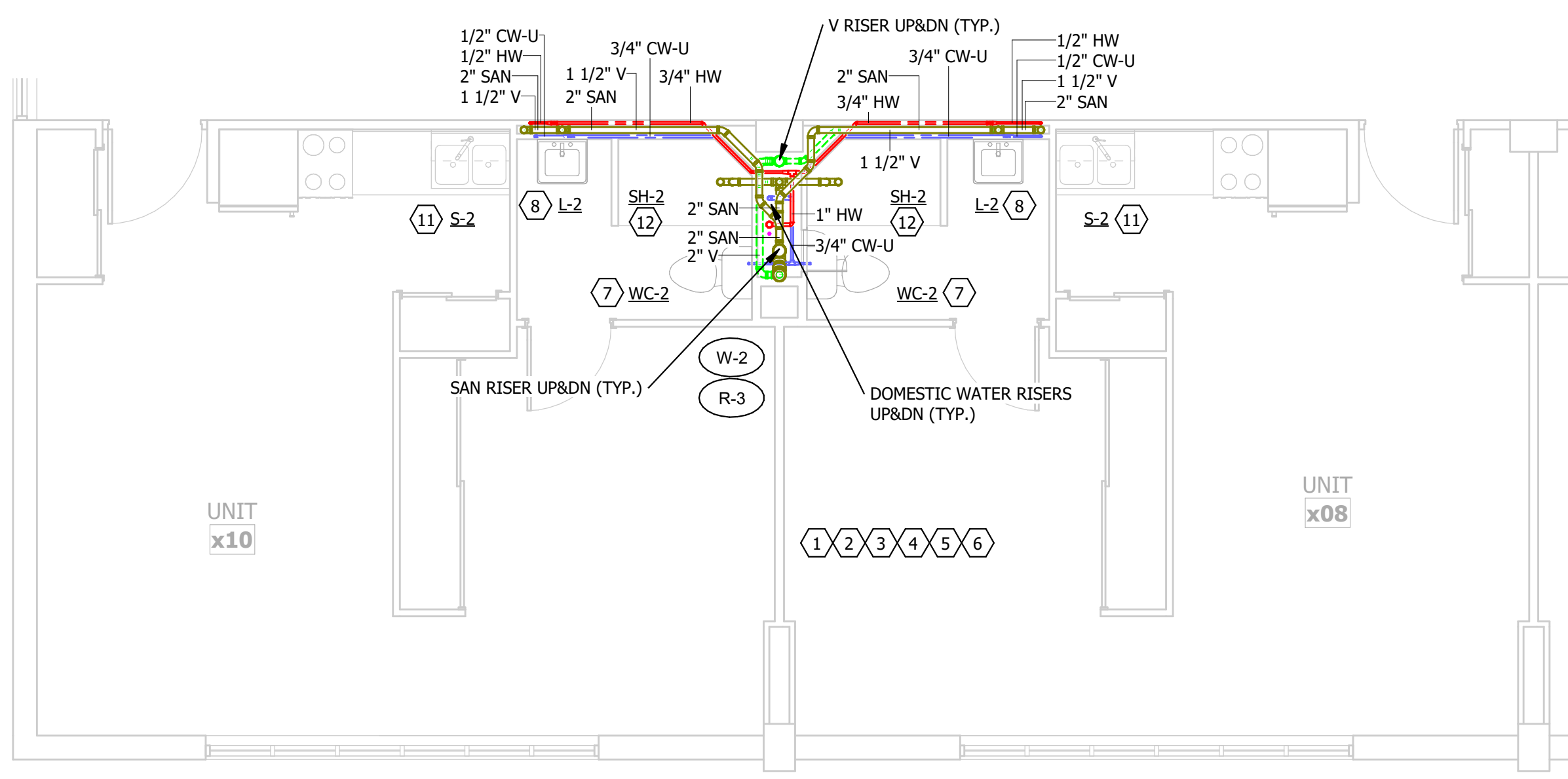
625-47

PLUMBING PLANS - ROOF &
PENTHOUSE

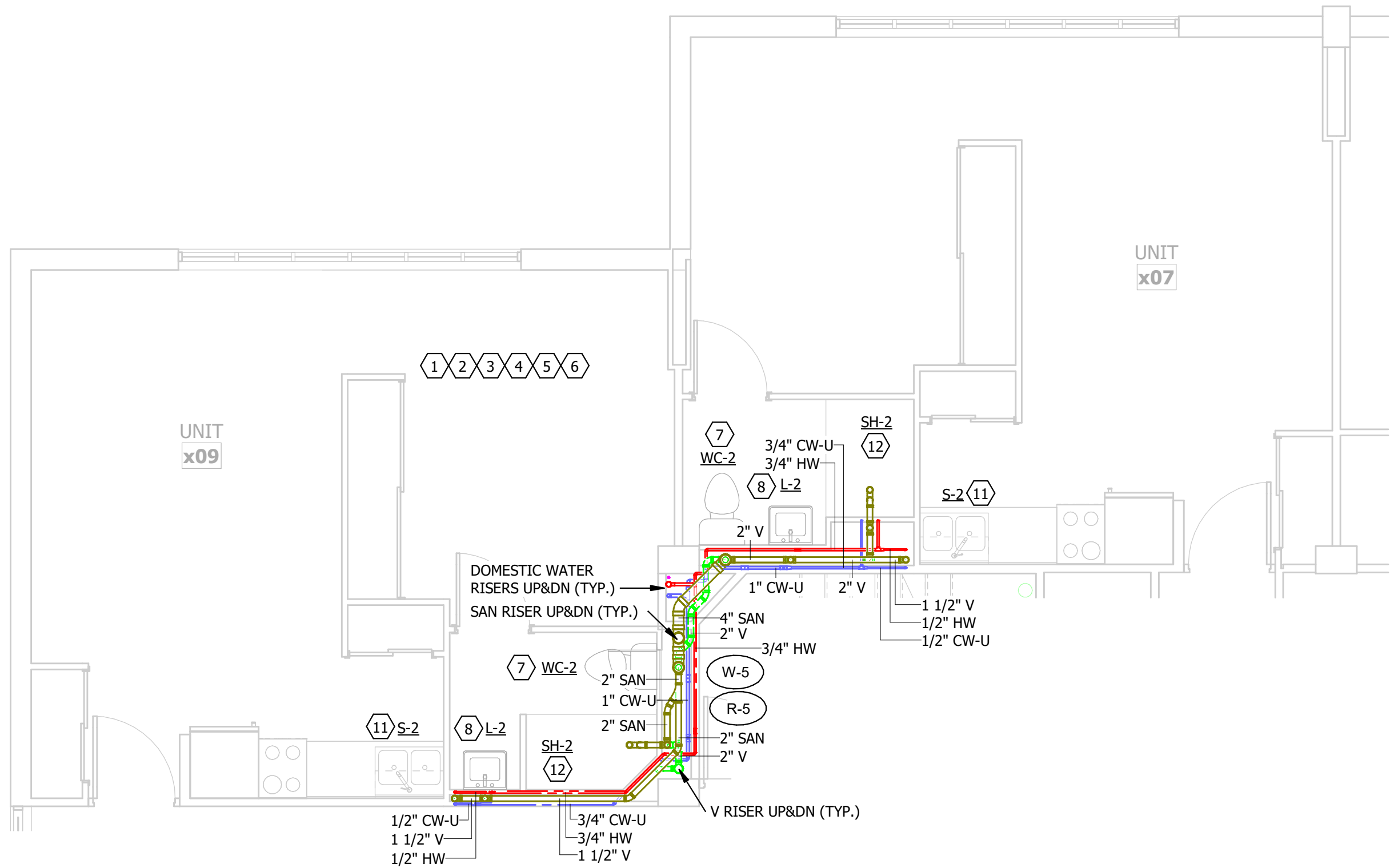
P501



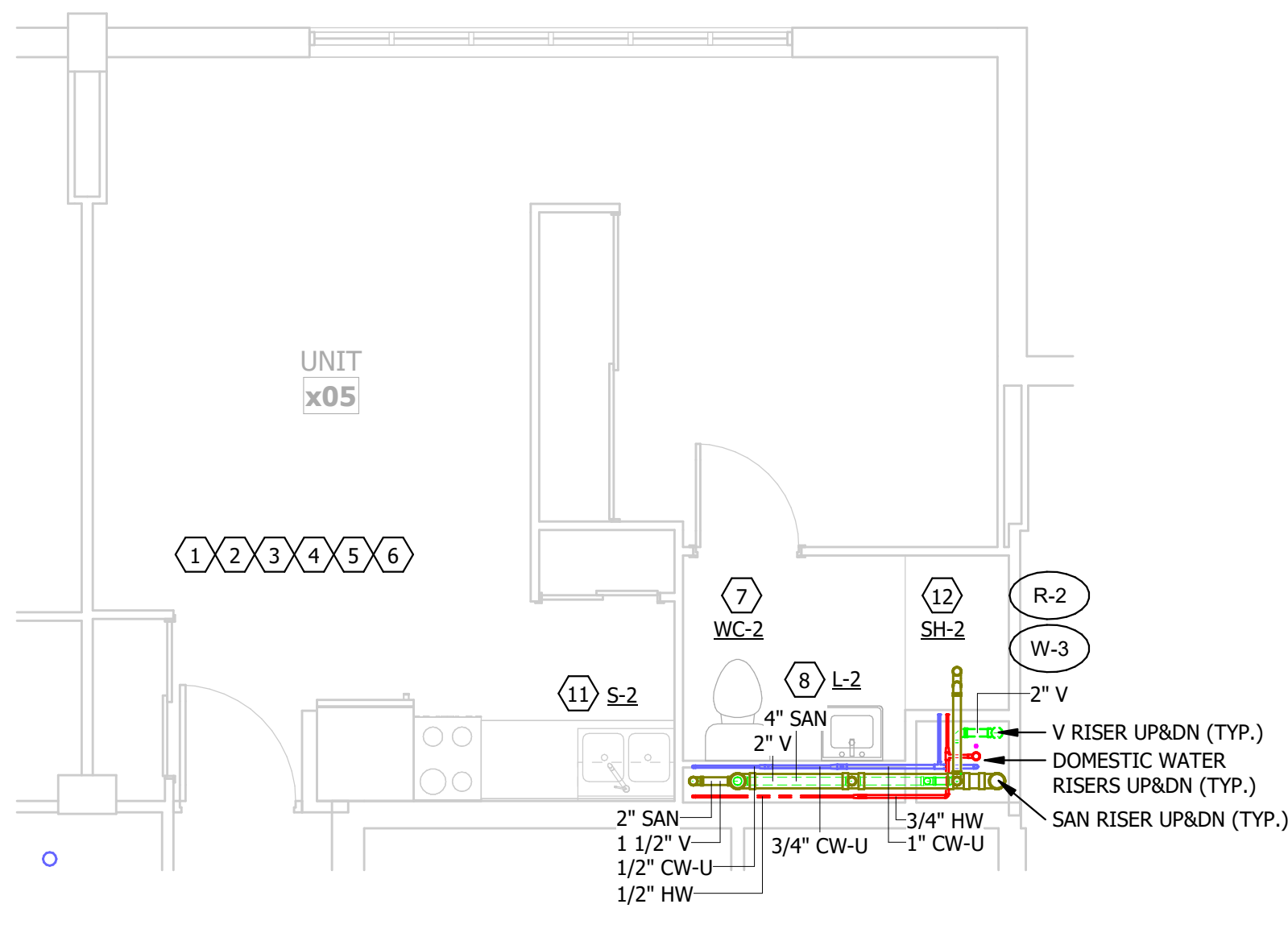
1 ENLARGED PLUMBING PLAN - 2ND FLOOR - TUB ROOM/ LAUNDRY / GAME ROOM
1/4" = 1'-0"



2 ENLARGED PLUMBING PLAN - TYPICAL UNITS
1/4" = 1'-0"



3 ENLARGED PLUMBING PLAN - TYPICAL UNITS
1/4" = 1'-0"



4 ENLARGED PLUMBING PLAN - TYPICAL UNITS
1/4" = 1'-0"

- KEYED NOTES:**
- COORDINATE WITH ARCHITECTURAL PLANS FOR PHASING.
 - NEW PLUMBING PIPING SHALL BE ROUTED TO MINIMIZE CONFLICTS WITH EXISTING STRUCTURE AND OTHER TRADES, AND MAXIMIZE CEILING HEIGHTS THROUGHOUT THE BUILDING.
 - NEW DOMESTIC WATER PIPING SHALL BE ROUTED IN A SIMILAR MANNER AS THE EXISTING DOMESTIC WATER PIPING IN EXISTING SHAFTS, CHASES, AND PIPE PENETRATIONS THROUGH WALLS AND FLOORS SHALL BE REUSED WHEREVER POSSIBLE TO MINIMIZE NEW PENETRATIONS.
 - NEW WASTE AND VENT PIPING SHALL BE ROUTED IN A SIMILAR MANNER AS THE EXISTING WASTE AND VENT PIPING IN EXISTING SHAFTS, CHASES, AND PIPE PENETRATIONS THROUGH WALLS AND FLOORS SHALL BE REUSED WHEREVER POSSIBLE TO MINIMIZE NEW PENETRATIONS.
 - PLAN VIEW DRAWINGS ARE DIAGRAMMATIC ONLY AND SHALL BE INSTALLED PER ISOMETRIC RISERS.
 - ALL WASTE PIPING WITHIN THE BUILDING MUST BE PITCHED AT 1/4-INCH PER FOOT MINIMUM WHEREVER POSSIBLE. WHERE SITE CONDITIONS PRECLUDE THIS SLOPE, PIPES 4-INCH AND LARGER MAY BE SLOPED AT 1/8-INCH PER FOOT WHERE APPROVED BY THE ADMINISTRATIVE AUTHORITY.
 - INSTALL NEW PLUMBING FIXTURE IN SAME LOCATION AS EXISTING. FIELD VERIFY SIZES AND LOCATION PRIOR TO INSTALLATION.
 - CONNECT NEW 2"SAN, 1-1/2"V, 1/2"HW, AND 1/2"CW TO E.LAV AND PROVIDE NEW FAUCET (L-2).
 - CONNECT NEW 2"SAN, 1-1/2"V, 1/2"HW, AND 1/2"CW TO E.LAV AND PROVIDE NEW FAUCET (L-3).
 - CONNECT NEW 2"SAN, 1-1/2"V, 1/2"HW, AND 1/2"CW TO E.SINK AND PROVIDE NEW FAUCET (S-4).
 - CONNECT NEW 2"SAN, 1-1/2"V, 1/2"HW, AND 1/2"CW TO E.SINK AND PROVIDE NEW FAUCET (S-2).
 - CONNECT NEW 2"SAN, 1-1/2"V, 1/2"HW, AND 1/2"CW TO E.SH AND PROVIDE NEW TRIM AND SHOWER DRAIN (SH-2).
 - CONNECT NEW 2"SAN, 1-1/2"V, 1/2"HW, AND 1/2"CW TO E.BT AND PROVIDE NEW TRIM AND DRAIN ASSEMBLY (BT-2).

△	ISSUES / REVISIONS	
1	06-11-26	70% MHFA REVIEW
2	07-13-26	95% MHFA REVIEW
3	08-03-26	100% CD BID SET

EXISTING CONDITIONS

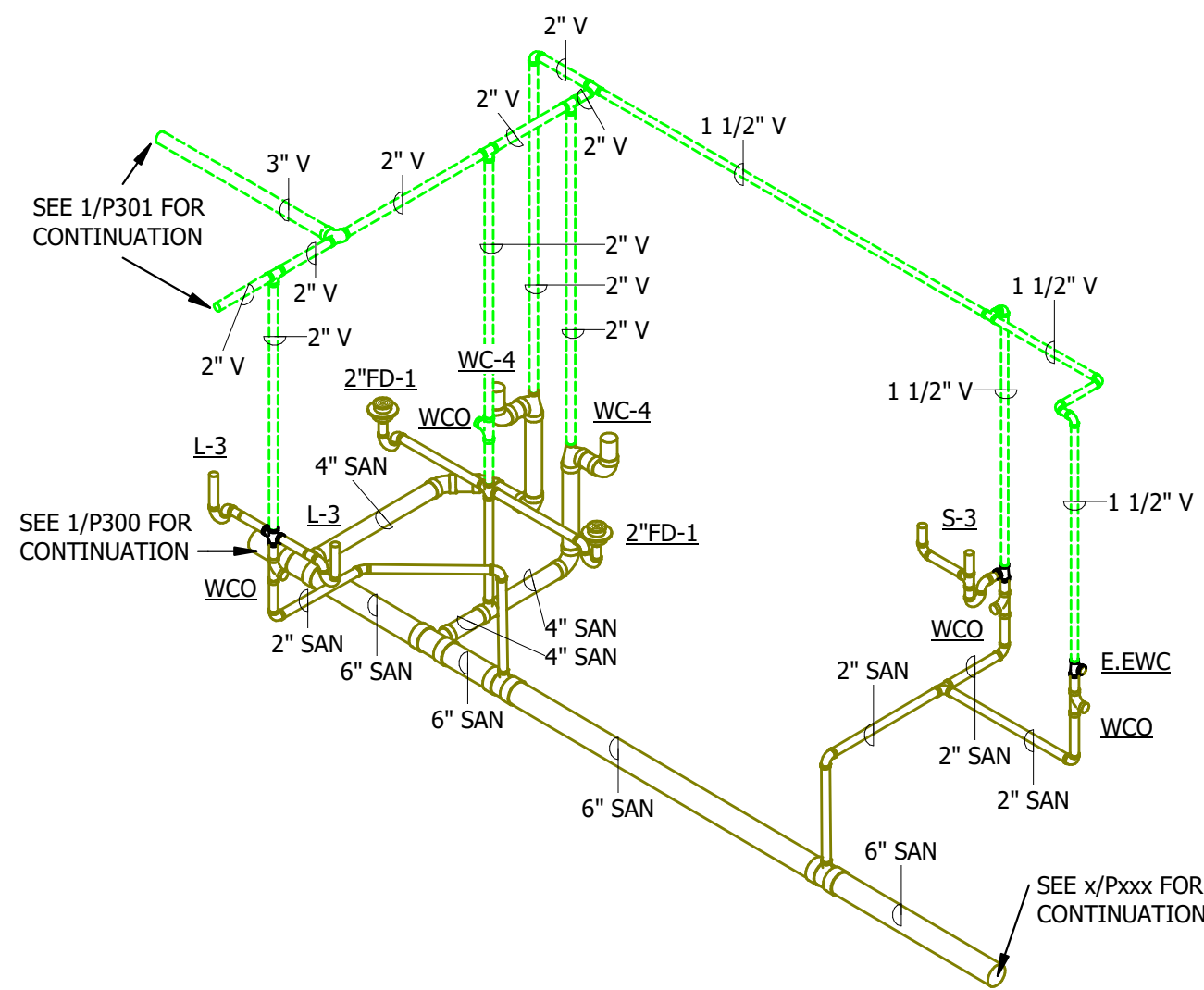
VERIFY ALL EXISTING CONSTRUCTION DIMENSIONS, ELEVATIONS AND CONDITIONS BEFORE STARTING ANY CONSTRUCTION. REVIEW ANY DISCREPANCIES WITH THE ARCHITECT. ADJUST NEW CONSTRUCTION AS REQUIRED.

Empire Apartments

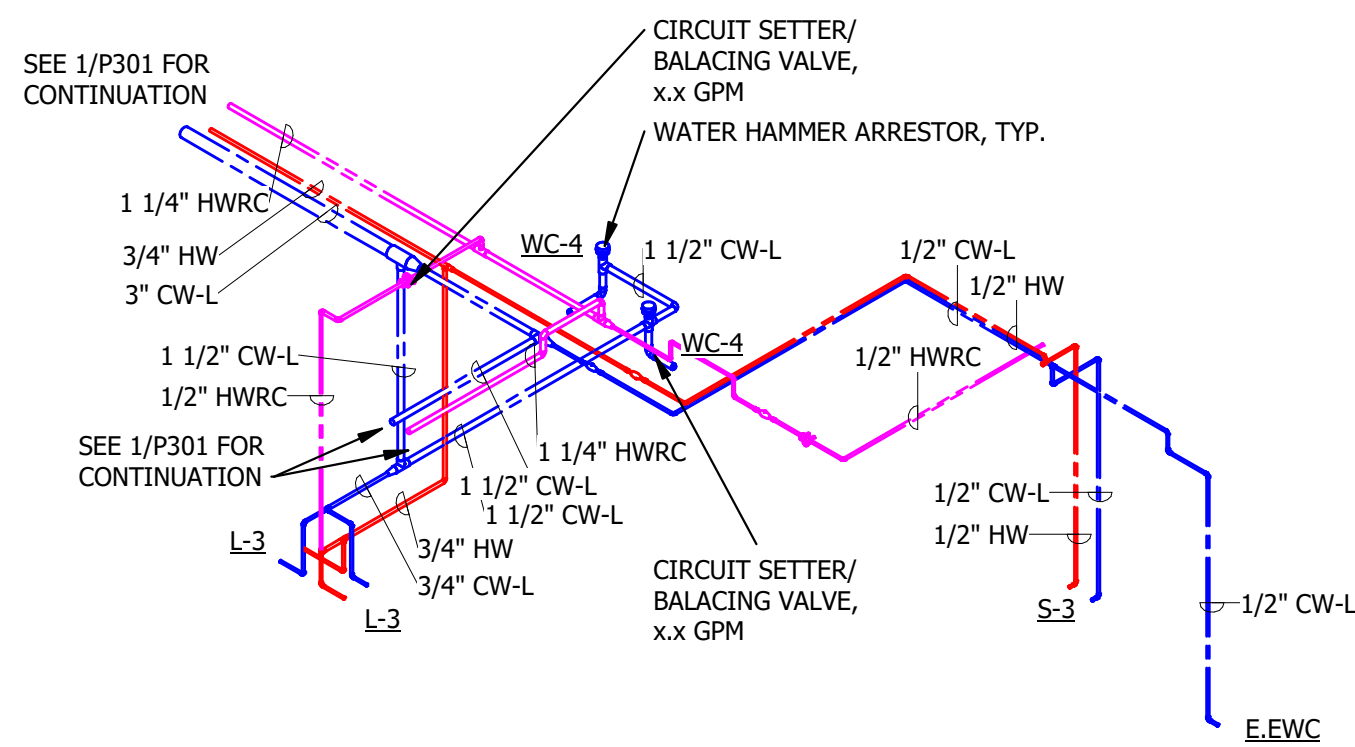
54 4th Ave. N.
St. Cloud, MN 56303

B/A PROJECT NUMBER: **625-47**
PLUMBING ENLARGED PLANS

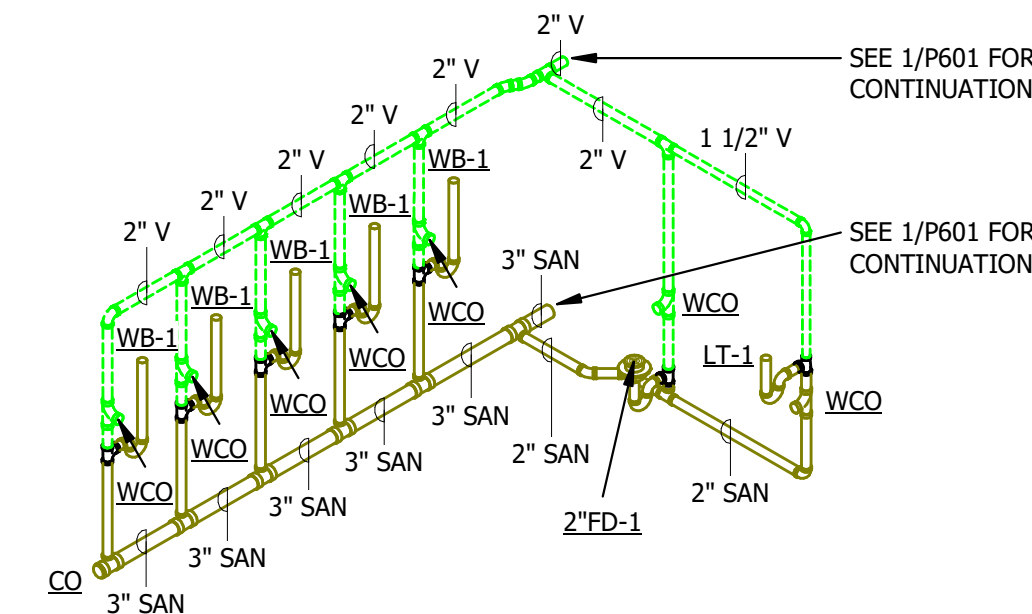
P601



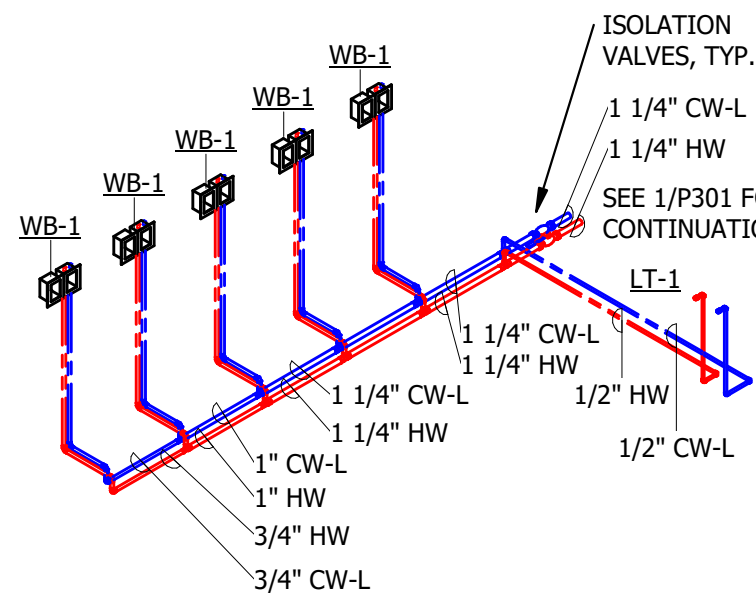
5 DWV ISOMETRIC - 1ST FLOOR - COMMON AREAS
NO SCALE



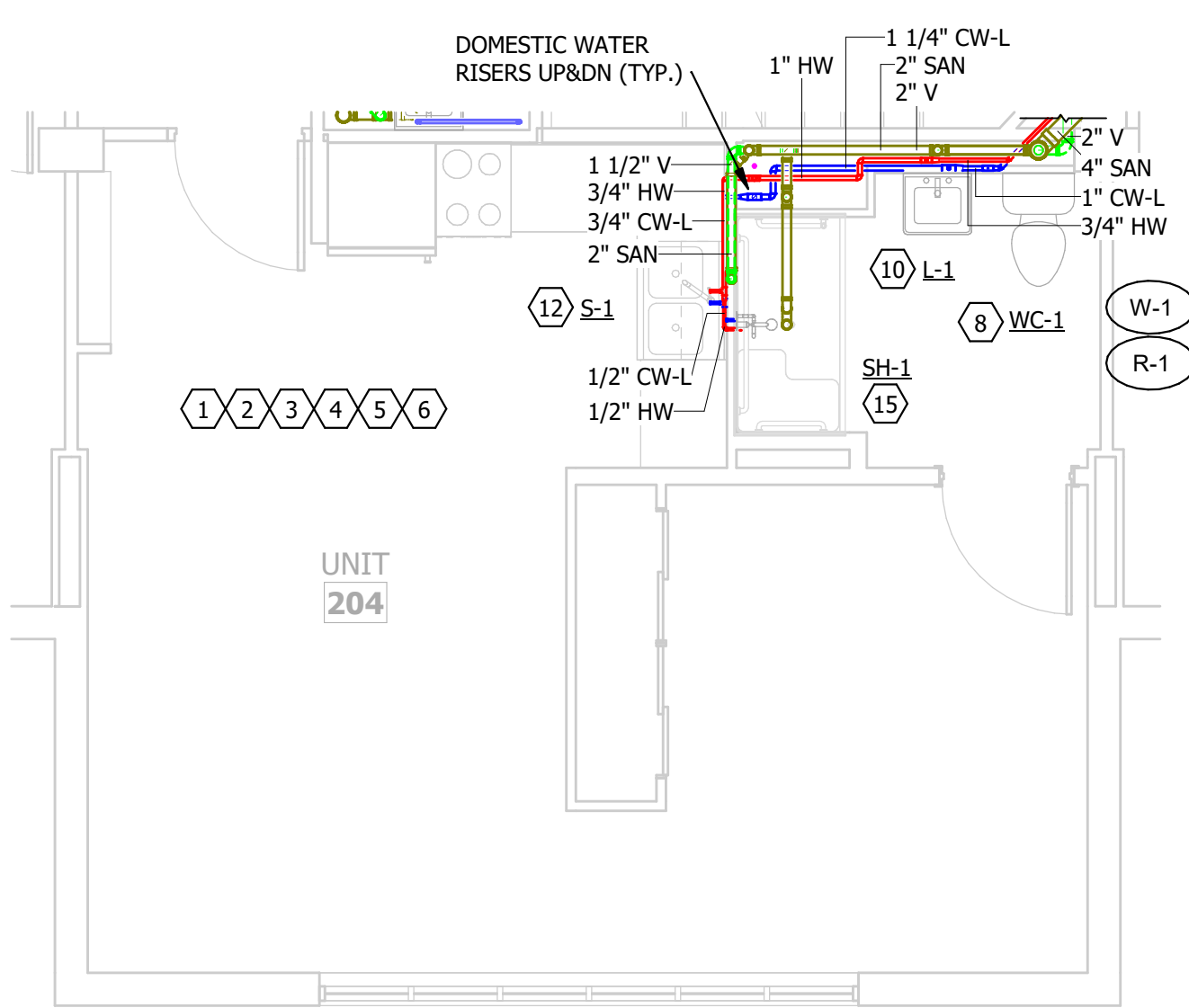
6 DOMESTIC WATER ISOMETRIC - 1ST FLOOR - COMMON AREAS
NO SCALE



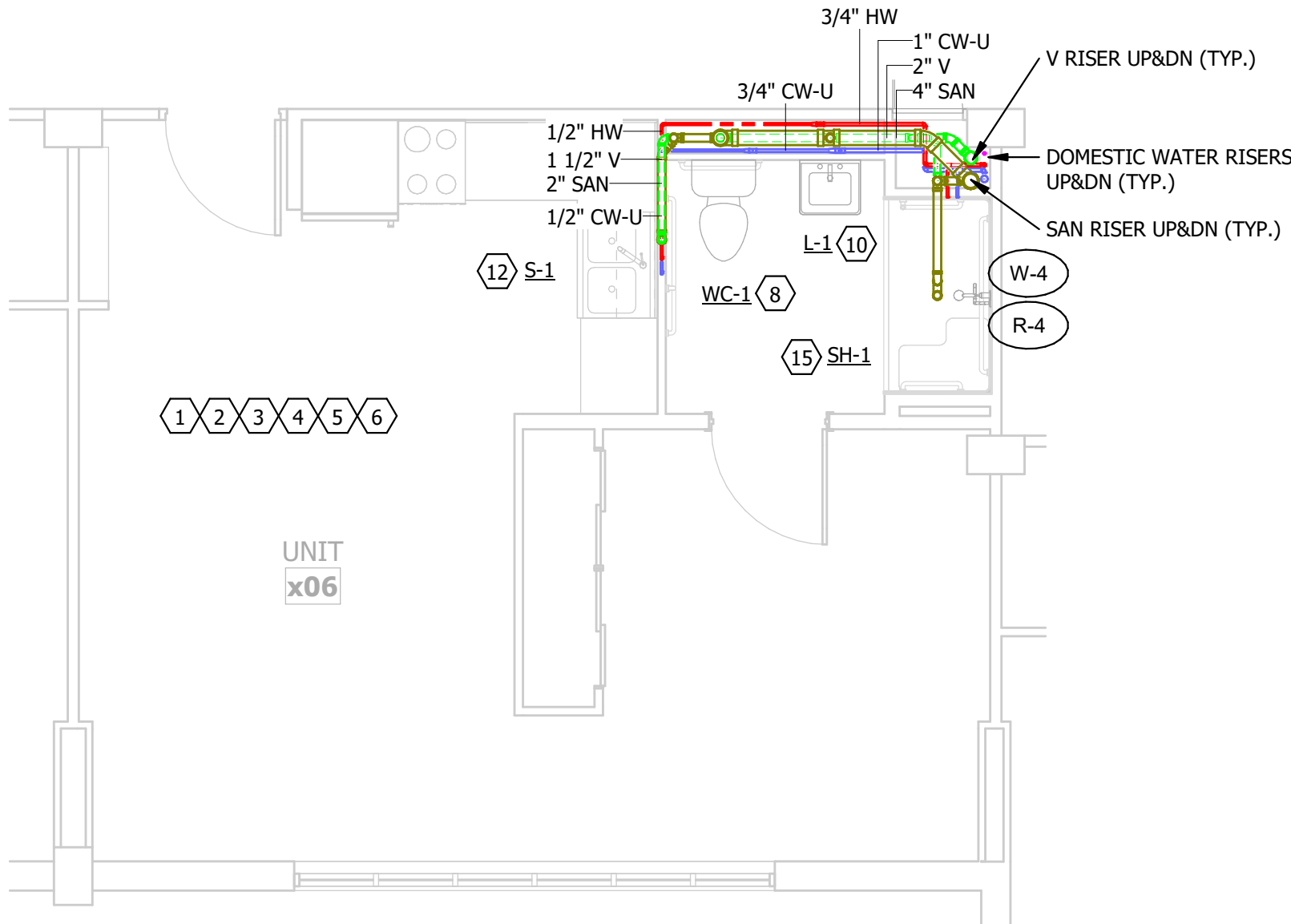
7 DWV ISOMETRIC - 2ND FLOOR - LAUNDRY
NO SCALE



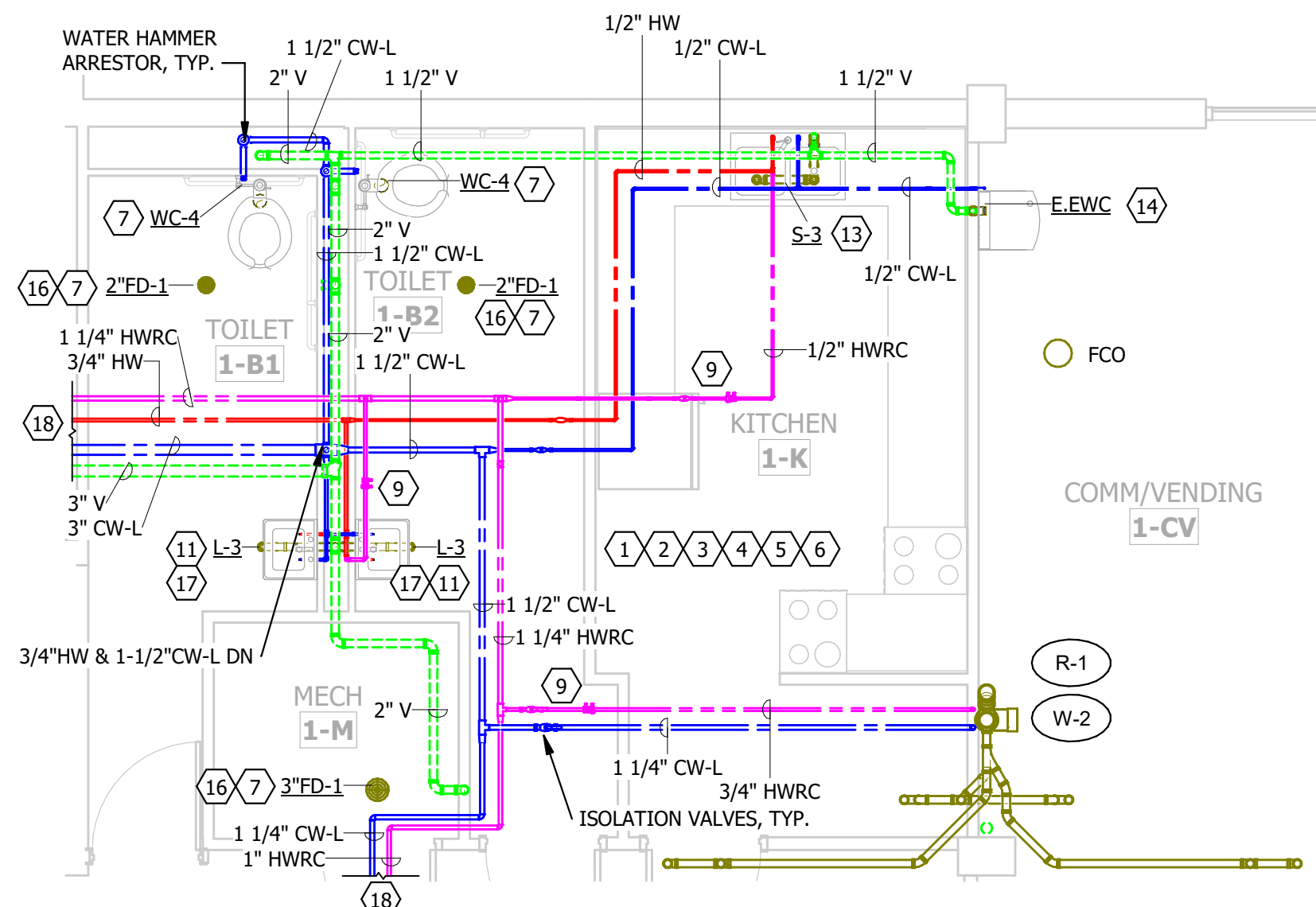
8 DOMESTIC WATER ISOMETRIC - 2ND FLOOR - LAUNDRY
NO SCALE



1 ENLARGED PLUMBING PLAN - TYPICAL ADA UNITS 204 / 304
1/4" = 1'-0"



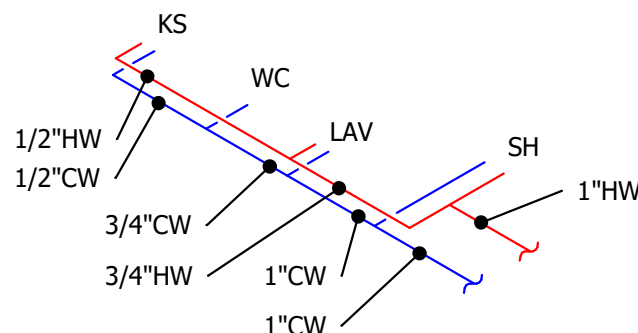
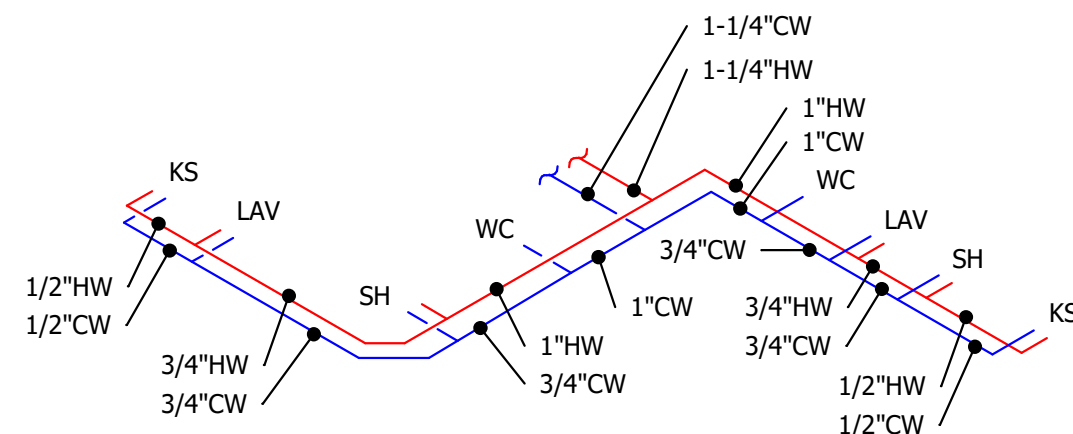
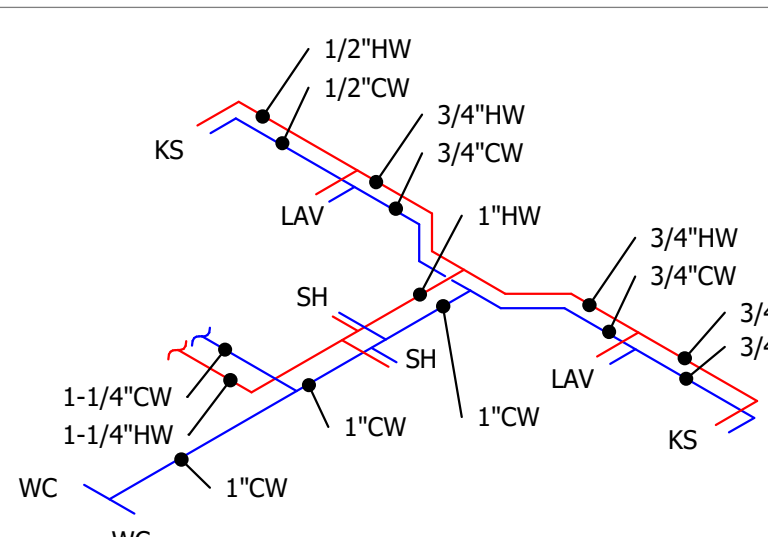
2 ENLARGED PLUMBING PLAN - TYPICAL ADA UNITS 406 / 506 / 606
1/4" = 1'-0"



3 ENLARGED PLUMBING PLAN - 1ST FLOOR - COMMON AREAS
1/4" = 1'-0"

KEYED NOTES:

- COORDINATE WITH ARCHITECTURAL PLANS FOR PHASING.
- NEW PLUMBING PIPING SHALL BE ROUTED TO MINIMIZE CONFLICTS WITH EXISTING STRUCTURE AND OTHER TRADES, AND MAXIMIZE CEILING HEIGHTS THROUGHOUT THE BUILDING.
- NEW DOMESTIC WATER PIPING SHALL BE ROUTED IN A SIMILAR MANNER AS THE EXISTING DOMESTIC WATER PIPING IN EXISTING SHAFTS, CHASES, AND PIPE PENETRATIONS THROUGH WALLS AND FLOORS SHALL BE REUSED WHEREVER POSSIBLE TO MINIMIZE NEW PENETRATIONS.
- NEW WASTE AND VENT PIPING SHALL BE ROUTED IN A SIMILAR MANNER AS THE EXISTING WASTE AND VENT PIPING IN EXISTING SHAFTS, CHASES, AND PIPE PENETRATIONS THROUGH WALLS AND FLOORS SHALL BE REUSED WHEREVER POSSIBLE TO MINIMIZE NEW PENETRATIONS.
- PLAN VIEW DRAWINGS ARE DIAGRAMMATIC ONLY AND SHALL BE INSTALLED PER ISOMETRIC RISERS.
- ALL WASTE PIPING WITHIN THE BUILDING MUST BE PITCHED AT 1/4-INCH PER FOOT MINIMUM WHEREVER POSSIBLE. WHERE SITE CONDITIONS PRECLUDE THIS SLOPE, PIPES 4-INCH AND LARGER MAY BE SLOPED AT 1/8-INCH PER FOOT WHERE APPROVED BY THE ADMINISTRATIVE AUTHORITY.
- REINSTALL EXISTING PLUMBING FIXTURE IN SAME LOCATION. FIELD VERIFY SIZES AND LOCATION PRIOR TO INSTALLATION.
- INSTALL NEW PLUMBING FIXTURE IN SAME LOCATION AS EXISTING. FIELD VERIFY SIZES AND LOCATION PRIOR TO INSTALLATION.
- CIRCUIT SETTER/BALANCING VALVE ASSEMBLY. FIELD VERIFY & MATCH EXISTING FLOW RATE.
- CONNECT NEW 2" SAN, 1-1/2" V, 1/2" HW, AND 1/2" CW TO E.LAV AND PROVIDE NEW FAUCET (L-1).
- CONNECT NEW 2" SAN, 1-1/2" V, 1/2" HW, AND 1/2" CW TO E.LAV (L-3).
- CONNECT NEW 2" SAN, 1-1/2" V, 1/2" HW, AND 1/2" CW TO E.SINK AND PROVIDE NEW FAUCET (S-1).
- CONNECT NEW 2" SAN, 1-1/2" V, 1/2" HW, AND 1/2" CW TO E.SINK (S-3).
- CONNECT NEW 2" SAN, 1-1/2" V, AND 1/2" CW TO E.DRINKING FOUNTAIN (E.EWC-1).
- CONNECT NEW 2" SAN, 1-1/2" V, 1/2" HW, AND 1/2" CW TO E.SH AND PROVIDE NEW TRIM AND SHOWER DRAIN (SH-1).
- COORDINATE FLOOR DRAIN LOCATION WITH ARCHITECTURAL PLANS.
- PUBLIC USE LAVATORIES MUST HAVE ASSE 1070 MIXING VALVE LIMITING THE HOT WATER TEMPERATURE TO 110-DEGREES F., PER MN PLUMBING CODE.
- SEE 1/P301 FOR CONTINUATION.



4 DOM. WATER PIPING, TYPICAL UNITS
NO SCALE

ISSUES / REVISIONS

1	06-11-26	70% MHFA REVIEW
2	07-13-26	95% MHFA REVIEW
3	08-03-26	100% CD BID SET

EXISTING CONDITIONS

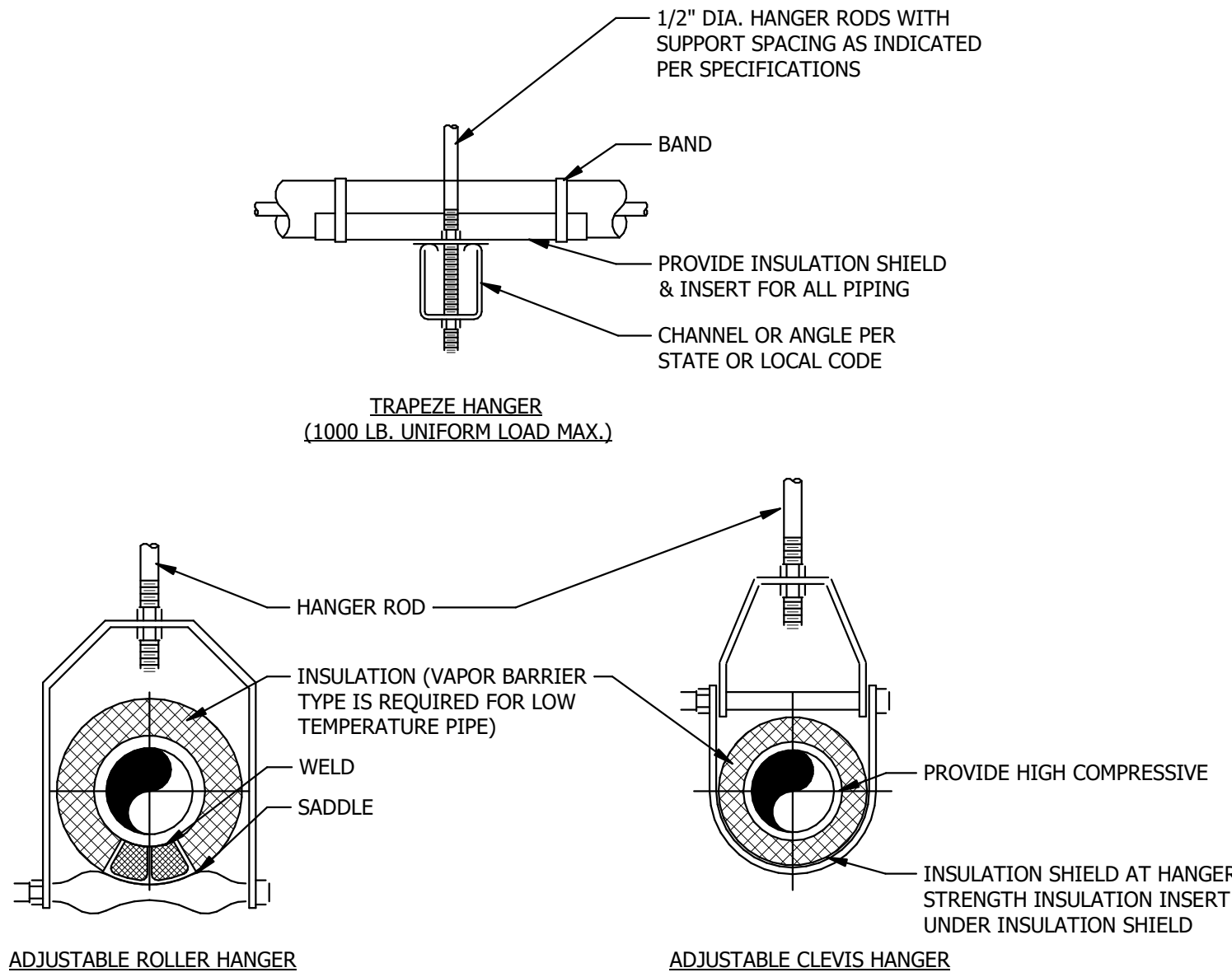
VERIFY ALL EXISTING CONSTRUCTION DIMENSIONS, ELEVATIONS AND CONDITIONS BEFORE STARTING ANY CONSTRUCTION. REVIEW ANY DISCREPANCIES WITH THE ARCHITECT. ADJUST NEW CONSTRUCTION AS REQUIRED.

Empire Apartments

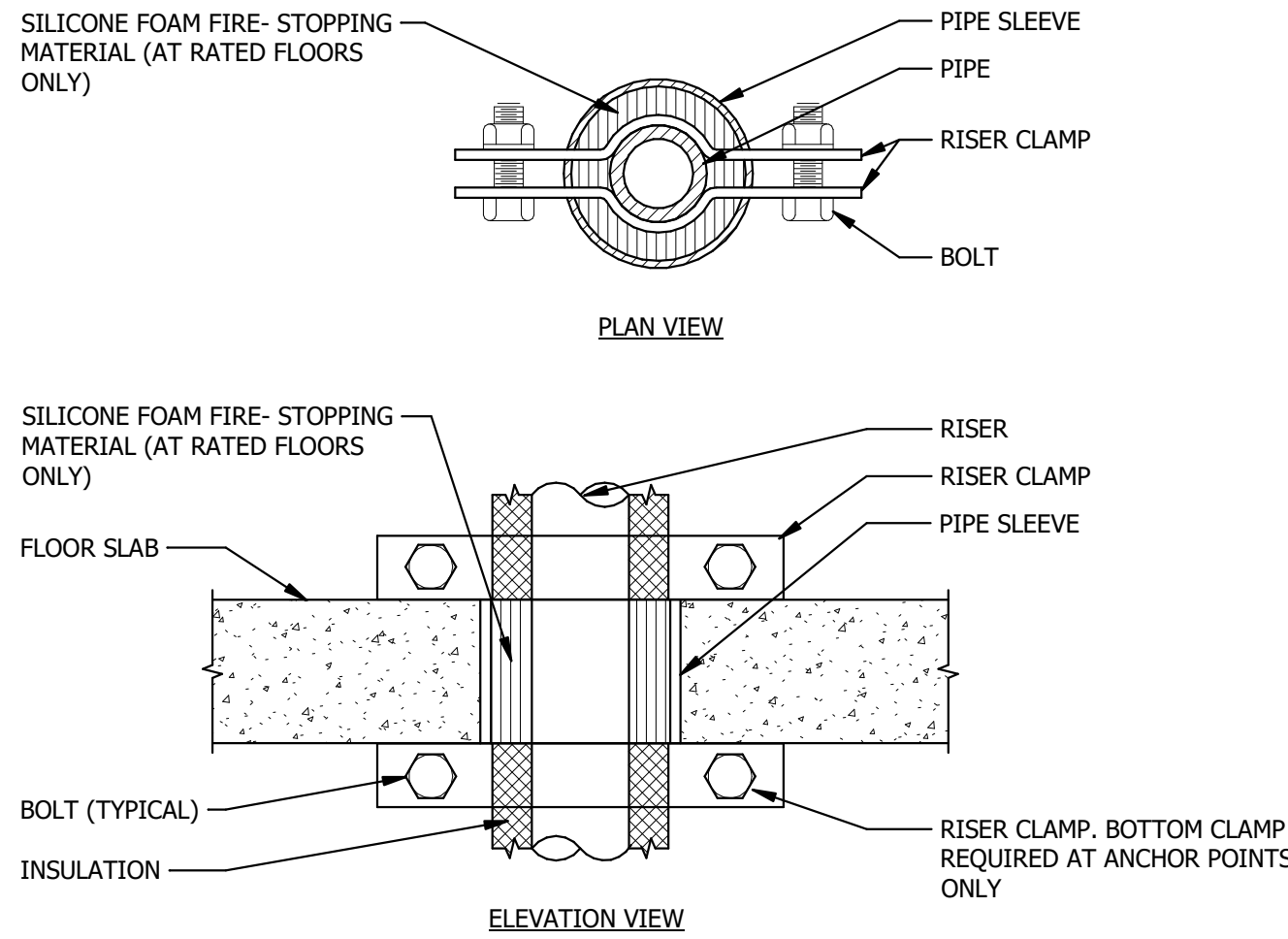
54 4th Ave. N.
St. Cloud, MN 56303

B/A PROJECT NUMBER: **625-47**
PLUMBING ENLARGED PLANS

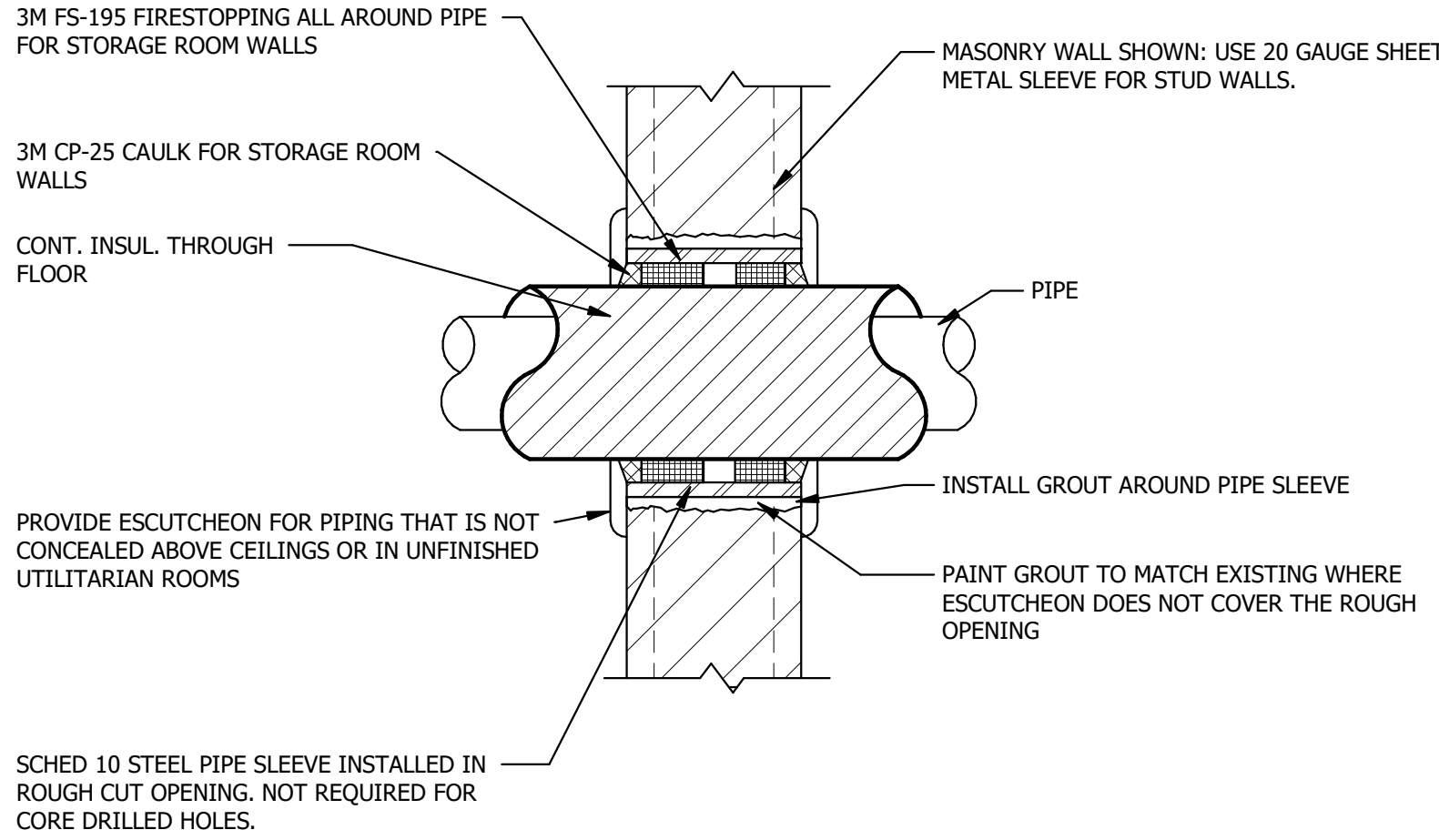
P602



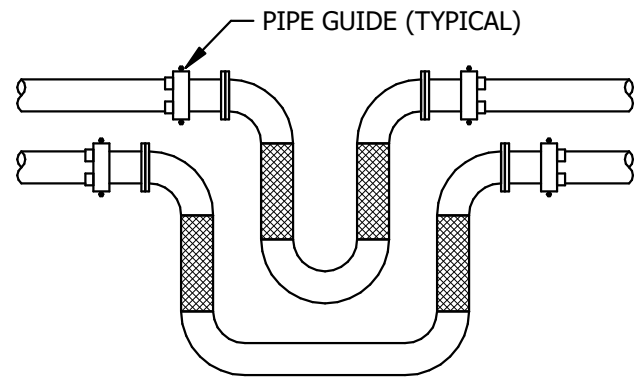
1 TYPICAL PIPE HANGER DETAIL
NO SCALE



2 VERTICAL SUPPORT/ANCHOR FOR PIPE RISER DETAIL
NO SCALE

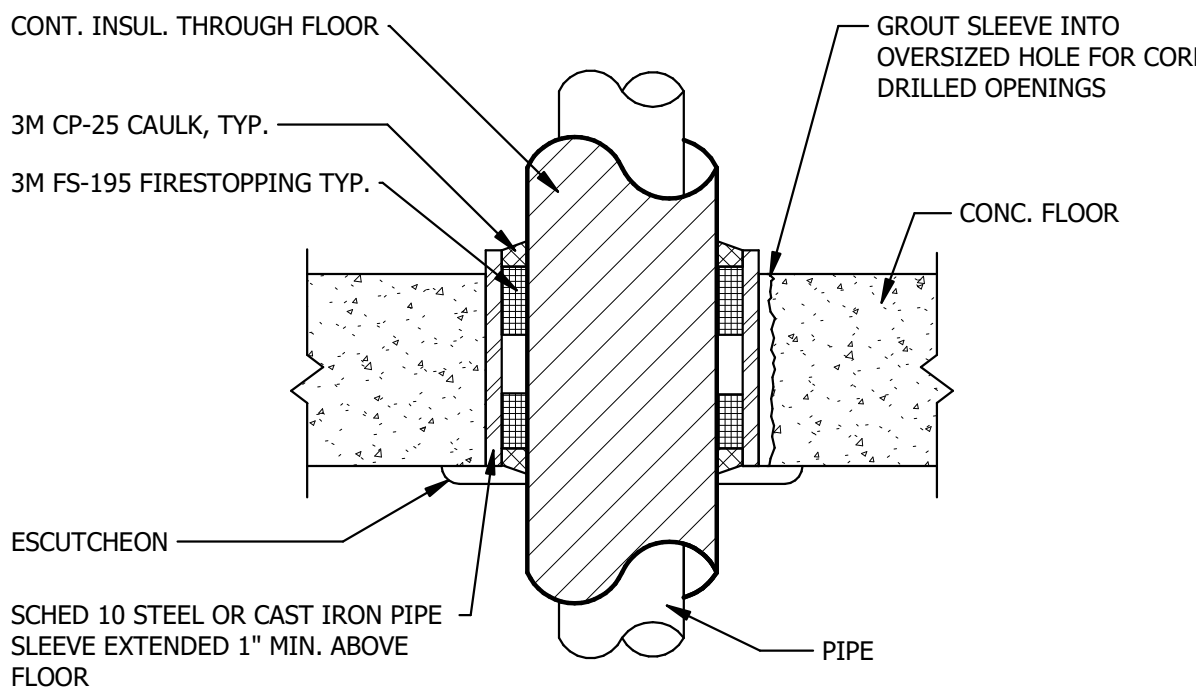


3 WALL PENETRATION DETAIL
NO SCALE

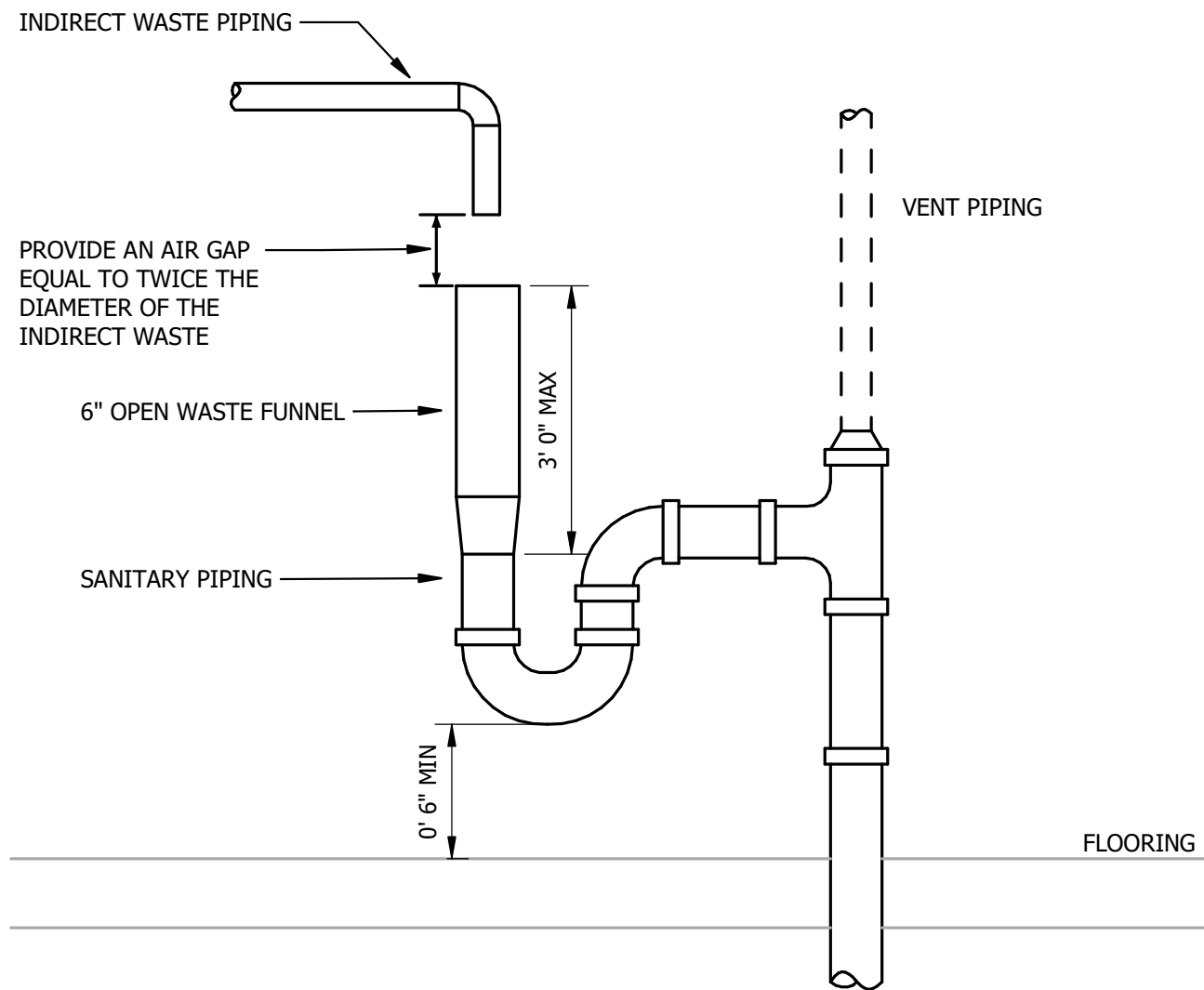


DETAIL NOTES:
1. INSTALL GUIDES AND ANCHOR POINTS AS PER FLEX LOOP MANUFACTURER.

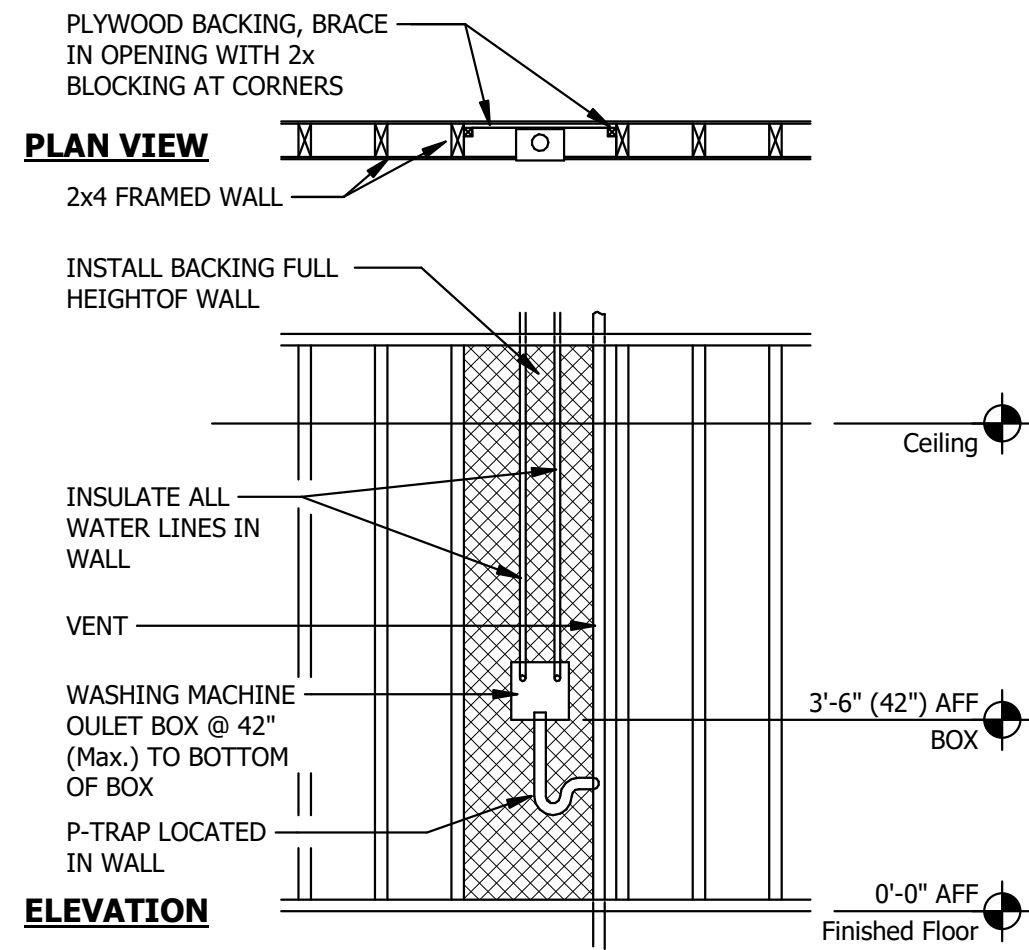
4 EXPANSION LOOP DETAIL
NO SCALE



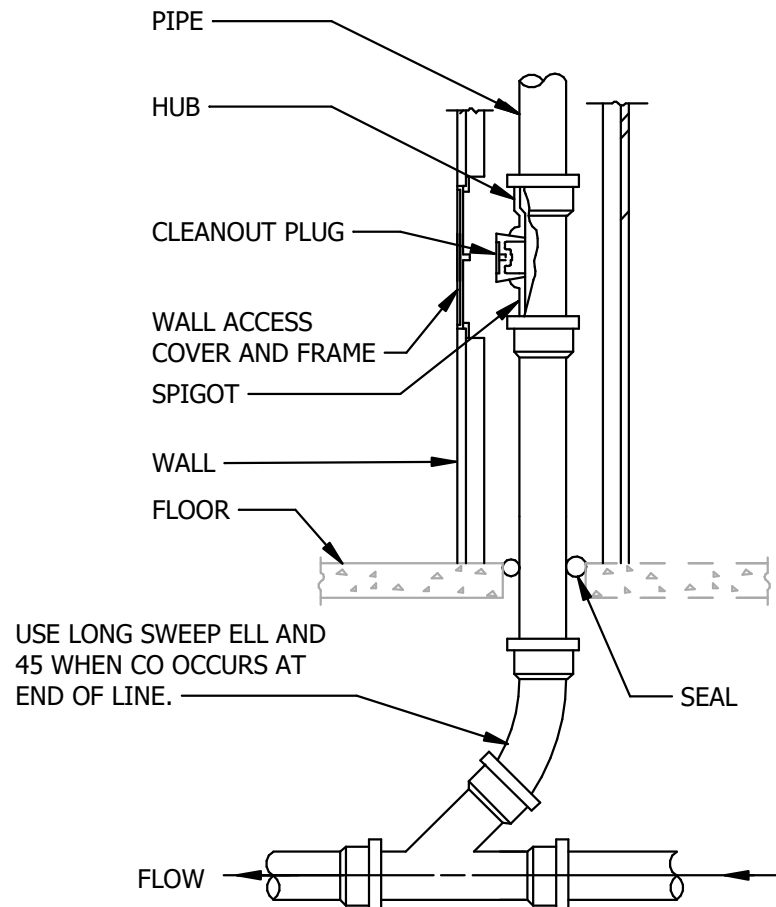
5 FLOOR PENETRATION DETAIL
NO SCALE



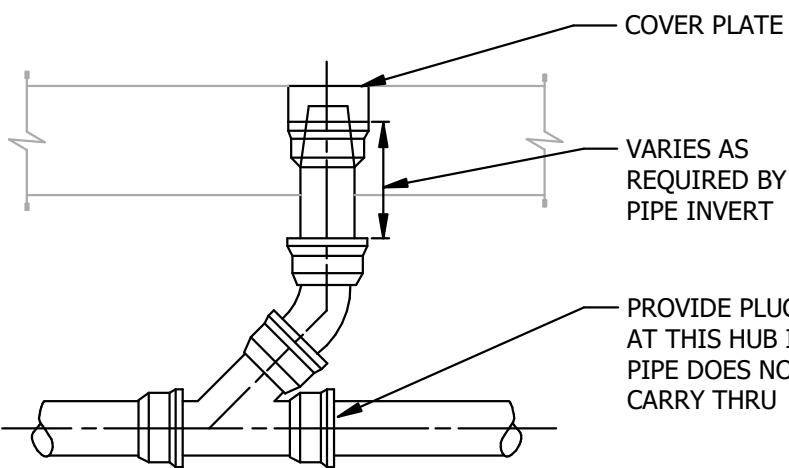
6 INDIRECT WASTE STANDPIPE DETAIL
NO SCALE



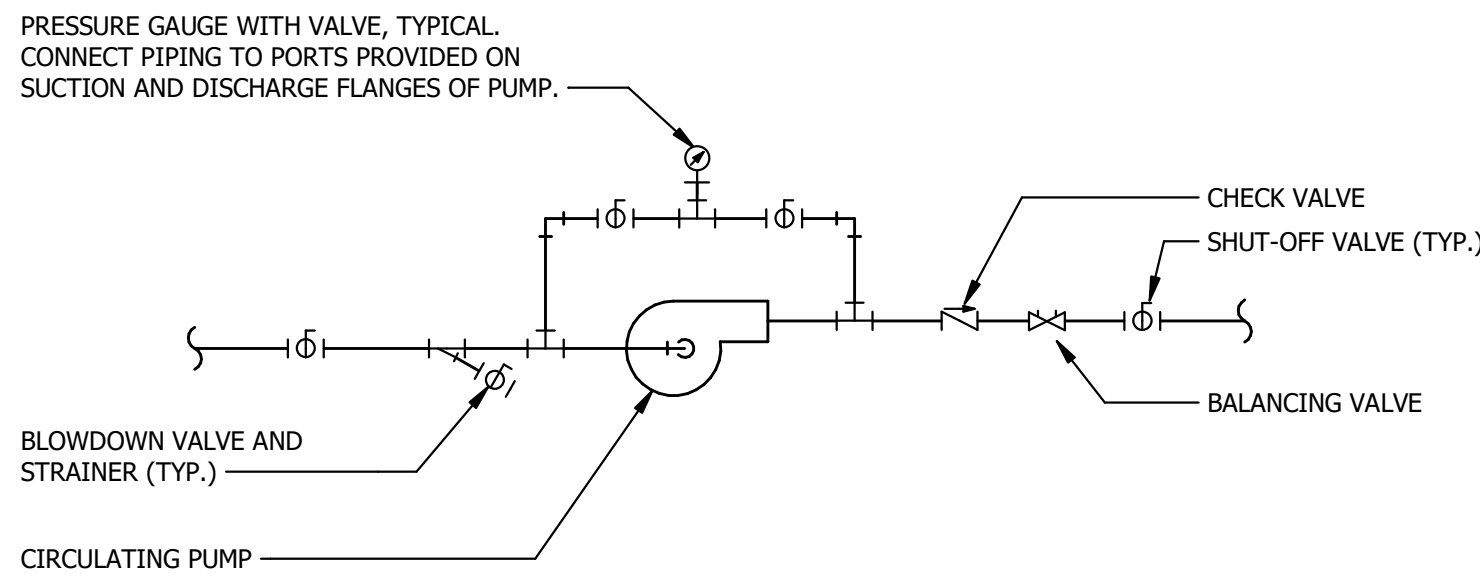
7 WASHER BOX DETAIL
NO SCALE



8 WALL CLEAN OUT DETAIL
NO SCALE



9 CLEAN OUT AND PLUGGED RISER
NO SCALE



10 CIRCULATING PUMP DETAIL
NO SCALE

ISSUES / REVISIONS

1	06-11-26	70% MHFA REVIEW
2	07-13-26	95% MHFA REVIEW
3	08-03-26	100% CD BID SET

EXISTING CONDITIONS

VERIFY ALL EXISTING CONSTRUCTION DIMENSIONS, ELEVATIONS AND CONDITIONS BEFORE STARTING ANY CONSTRUCTION. REVIEW ANY DISCREPANCIES WITH THE ARCHITECT. ADJUST NEW CONSTRUCTION AS REQUIRED.

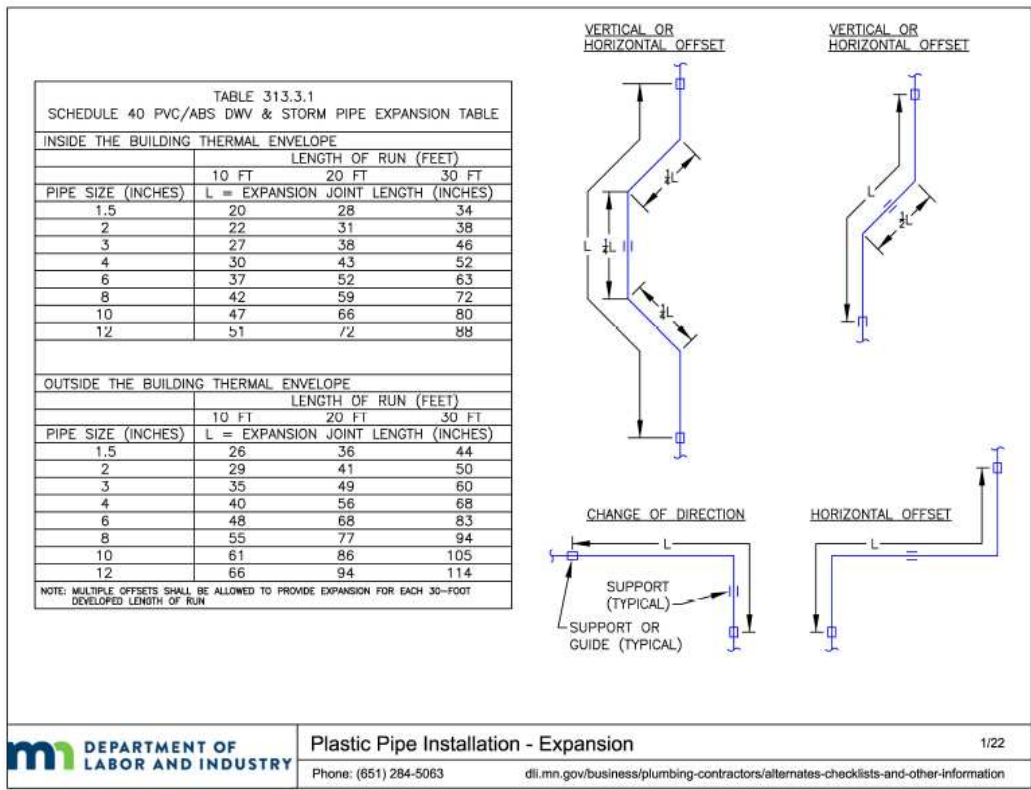
Empire Apartments

54 4th Ave. N.
St. Cloud, MN 56303

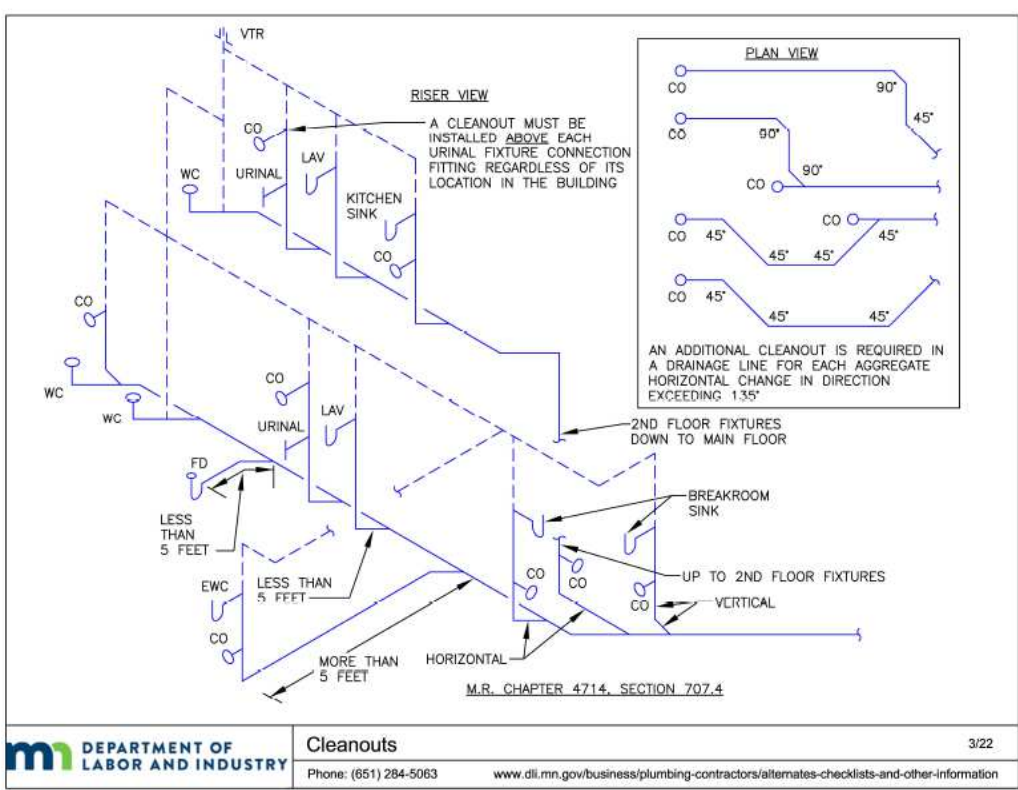
B/A PROJECT NUMBER: **625-47**

PLUMBING DETAILS

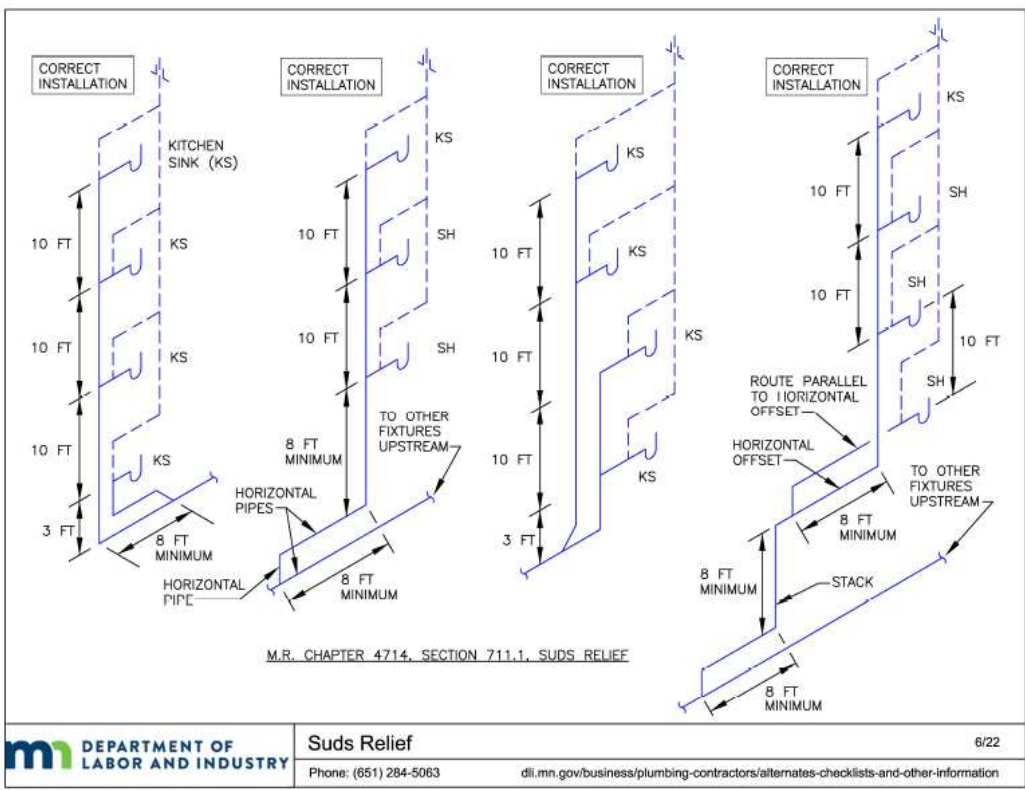
P701



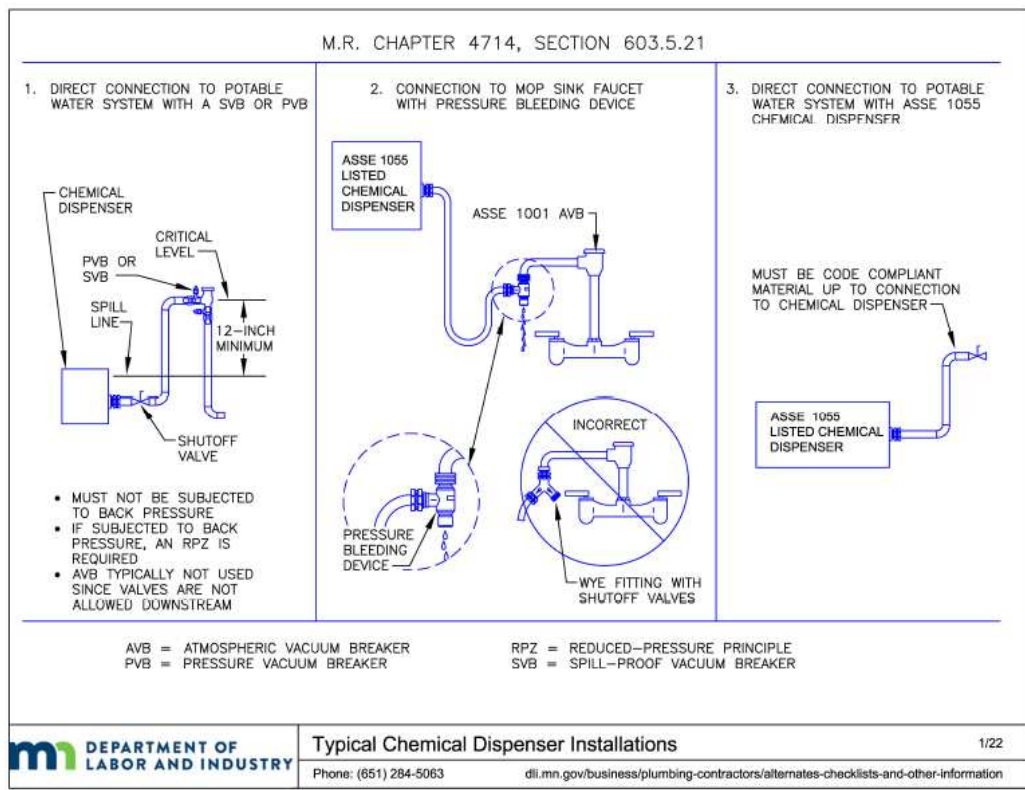
1 PLASTIC PIPE INSTALLATION - EXPANSION
NO SCALE



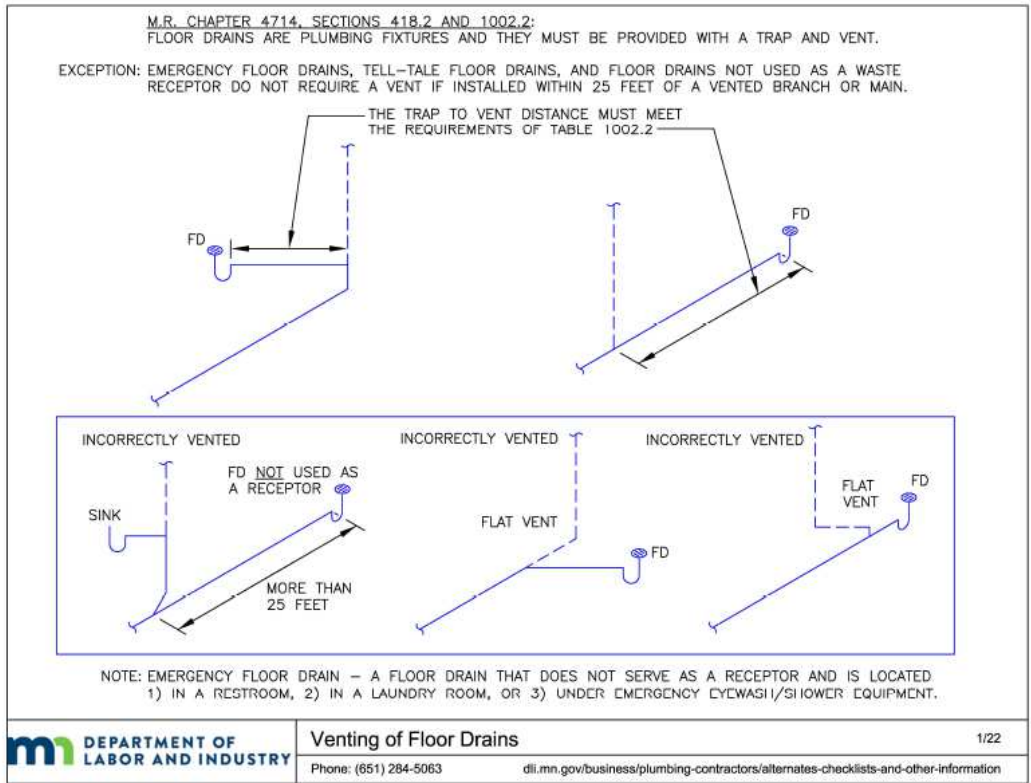
2 CLEANOUTS
NO SCALE



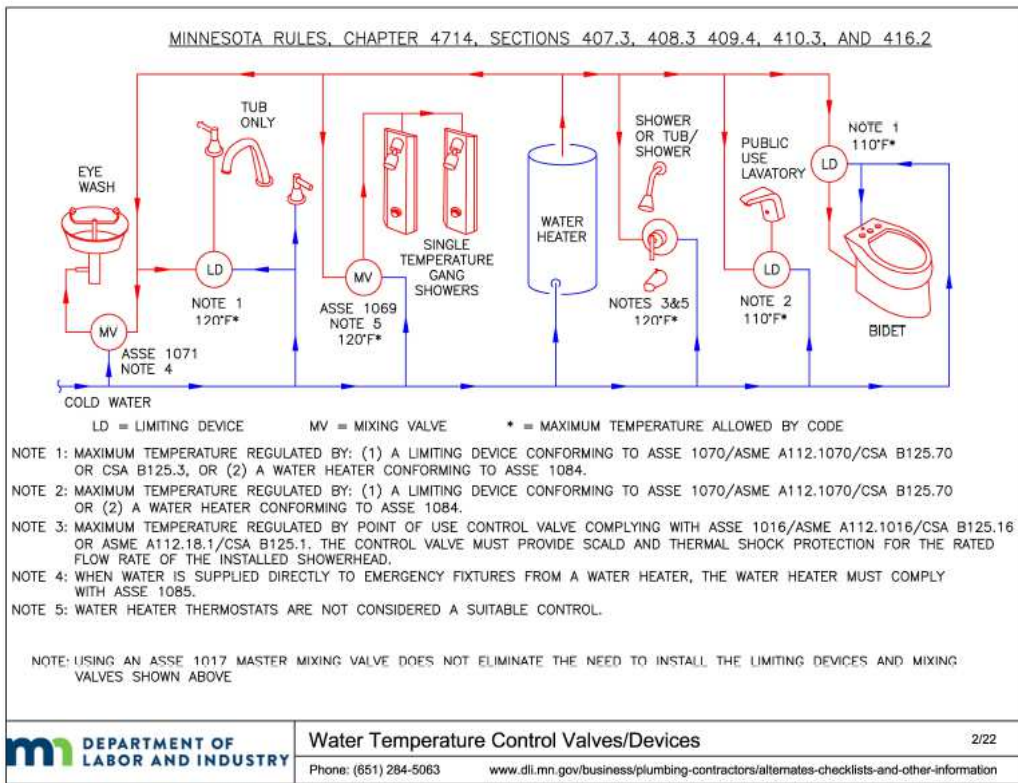
3 SUDS RELIEF
NO SCALE



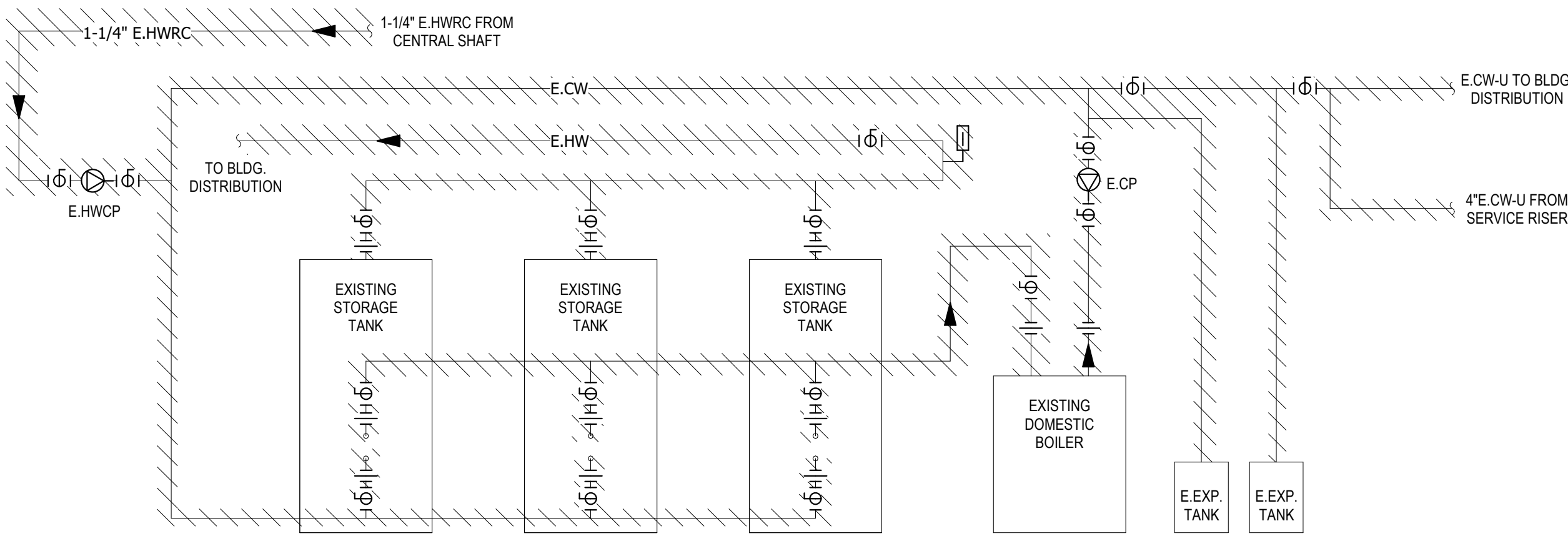
4 TYPICAL CHEMICAL DISPENSER INSTALLATIONS
NO SCALE



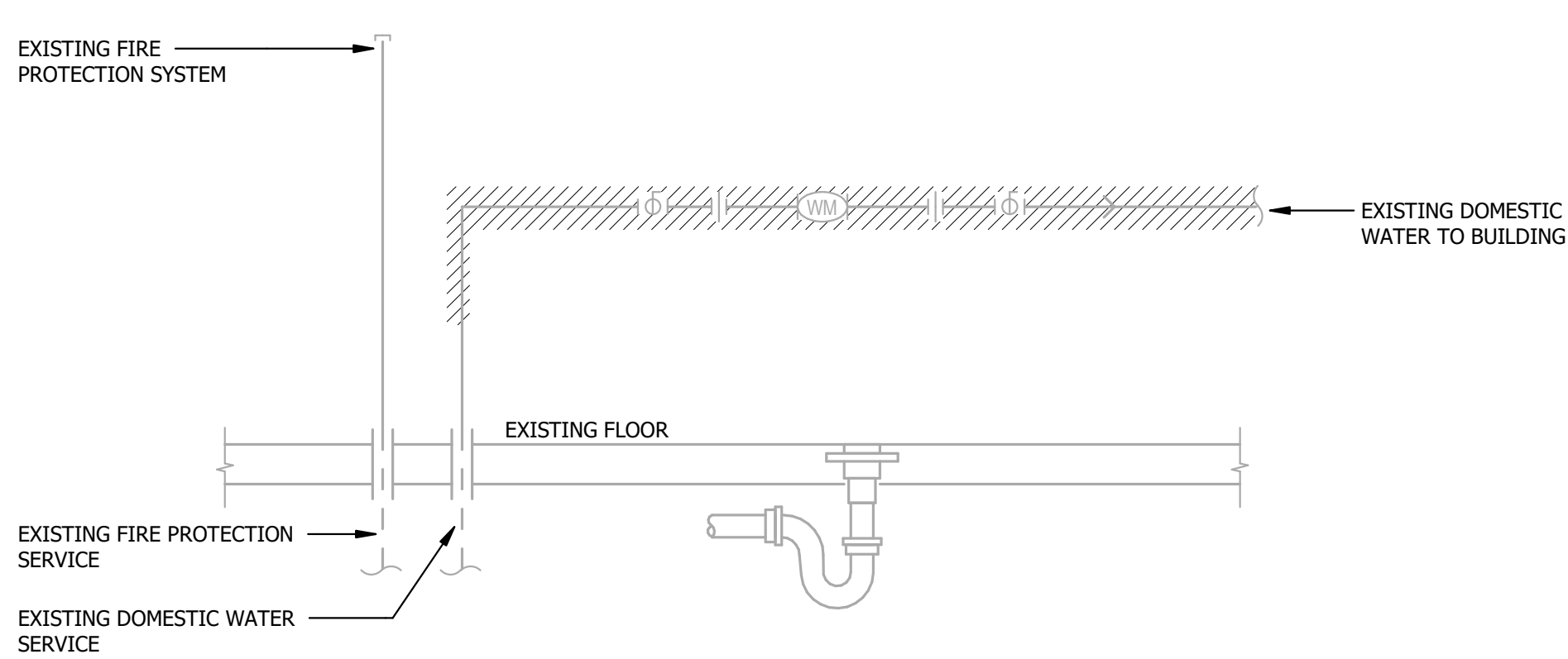
5 VENTING OF FLOOR DRAINS
NO SCALE



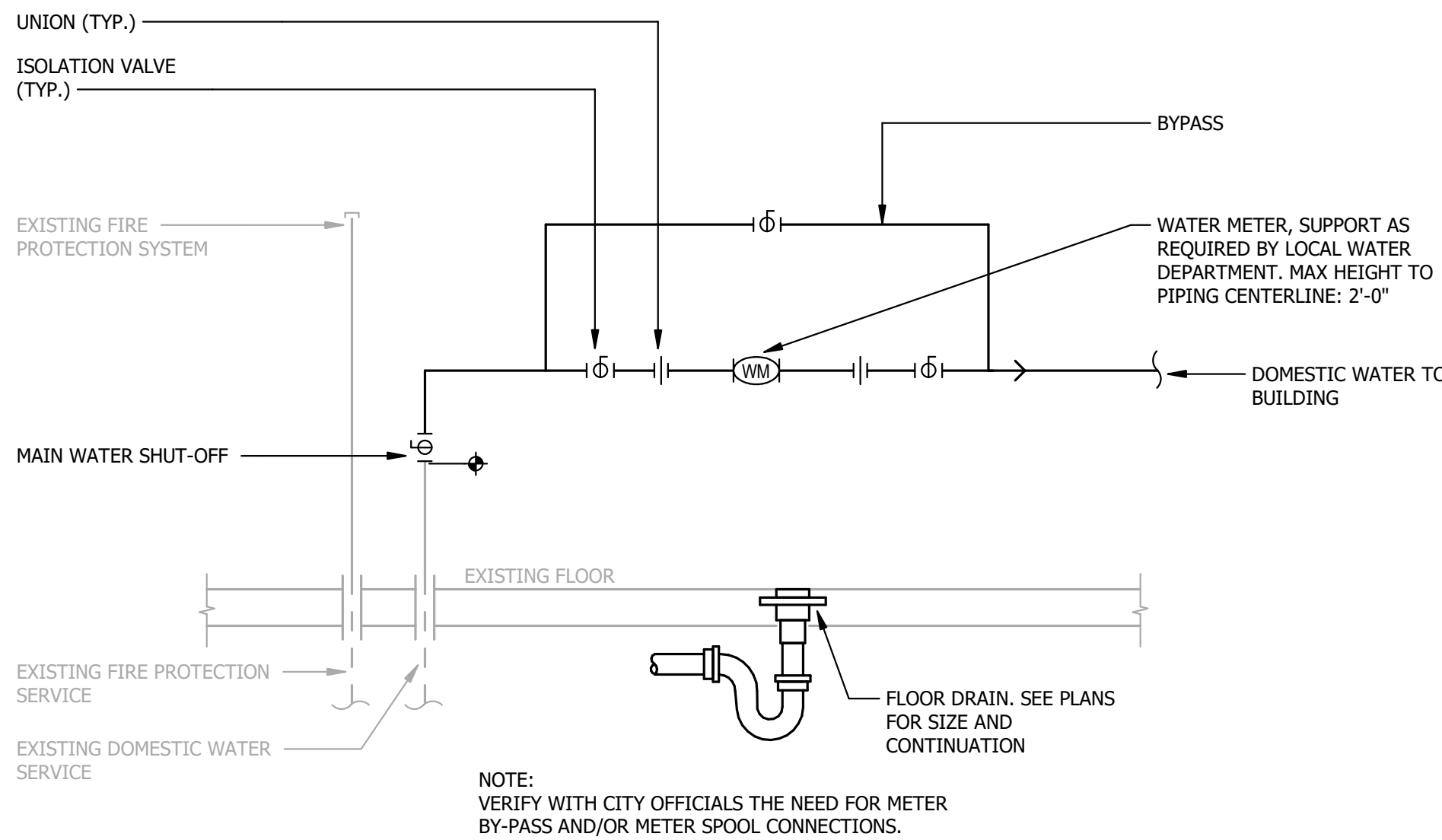
6 WATER TEMPERATURE CONTROL VALVES/DEVICES
NO SCALE



7 WATER HEATER PIPING SCHEMATIC - DEMO AND NEW
NO SCALE



8 WATER SERVICE DETAIL - DEMO
NO SCALE



9 WATER SERVICE DETAIL - NEW
NO SCALE

Δ	ISSUES / REVISIONS
1	06-11-26 70% MHFA REVIEW
2	07-13-26 95% MHFA REVIEW
3	08-03-26 100% CD BID SET

EXISTING CONDITIONS
VERIFY ALL EXISTING CONSTRUCTION DIMENSIONS, ELEVATIONS AND CONDITIONS BEFORE STARTING ANY CONSTRUCTION. REVIEW ANY DISCREPANCIES WITH THE ARCHITECT. ADJUST NEW CONSTRUCTION AS REQUIRED.

Empire Apartments

54 4th Ave. N.
St. Cloud, MN 56303

B/A PROJECT NUMBER: **625-47**
PLUMBING DETAILS

P702

PLUMBING FIXTURE DEMAND SCHEDULE

DOMESTIC WATER DEMAND			SANITARY SEWER DEMAND
373 HOT S.F.U.	592 COLD S.F.U.	706 TOTAL S.F.U.	819 TOTAL D.F.U.

PLUMBING FIXTURE SCHEDULE

TAG	FIXTURE DESCRIPTION	WASTE	VENT	HOT	COLD	NOTES
2"FD-1	ROUND FLOOR DRAIN	-	-	-	-	1,3,4,15
3"FD-1	ROUND FLOOR DRAIN	-	-	-	-	1,3,4,15
4"FD-1	ROUND FLOOR DRAIN	-	-	-	-	1,3,4,15
BT-1	EXISTING ADA BATH TUB	2"	1-1/2"	1/2"	1/2"	1,3,10,11,12,15
BT-2	EXISTING ADA BATH TUB (COMMON AREAS)	2"	1-1/2"	1/2"	1/2"	1,3,10,11,12,15
E.EWC	EXISTING ADA ELECTRIC WATER COOLER W/BOTTLE FILLER	2"	1-1/2"	-	1/2"	1,13,14
E.SS	EXISTING SERVICE SINK	3"	2"	3/4	3/4"	1,13,14
H-1	FREEZELESS WALL HYDRANT	-	-	-	3/4"	1,3,7,15
L-1	EXISTING ADA LAVATORY, WALL HUNG	2"	1-1/2"	1/2"	1/2"	1,2,3,13,14,15
L-2	EXISTING LAVATORY, WALL HUNG	2"	1-1/2"	1/2"	1/2"	1,3,13,14,15
L-3	EXISTING ADA LAVATORY, WALL HUNG (COMMON AREAS)	2"	1-1/2"	1/2"	1/2"	1,2,3,13,14,15
LT-1	ADA DROP-IN, LAUNDRY UTILITY SINK	2"	1-1/2"	1/2"	1/2"	1,3,7,15
S-1	EXISTING ADA DOUBLE BOWL SINK	2"	1-1/2"	1/2"	1/2"	1,2,3,15
S-2	EXISTING DOUBLE BOWL SINK	2"	1-1/2"	1/2"	1/2"	1,3,15
S-3	EXISTING ADA DOUBLE BOWL SINK (COMMON AREAS)	2"	1-1/2"	1/2"	1/2"	1,2,3,15
S-4	EXISTING ADA SINGLE-BOWL SINK	2"	1-1/2"	1/2"	1/2"	1,2,3,15
SH-1	EXISTING ADA SHOWER	2"	1-1/2"	1/2"	1/2"	1,3,10,11,12,15
SH-2	EXISTING SHOWER	2"	1-1/2"	1/2"	1/2"	1,3,10,11,15
WB-1	WASHER BOX	2"	1-1/2"	3/4	3/4"	1,3,8,9,15
WC-1	ADA WATER CLOSET, TANK-TYPE, REAR OUTLET	3"	2"	-	1/2"	1,3,5,15
WC-2	WATER CLOSET, TANK-TYPE, REAR OUTLET	3"	2"	--	1/2"	1,3,15
WC-3	ADA WATER CLOSET, TANK-TYPE, REAR OUTLET (COMMON AREAS)	3"	2"	-	1/2"	1,3,5,15
WC-4	EXISTING ADA WATER CLOSET, FLOOR MOUNT, FLUSH VALVE (COMMON AREAS)	4"	2"	-	1"	1,3,5,15

- NOTES:
- PIPE SIZING TO BE INDICATED IN SCHEDULE, UNLESS OTHERWISE NOTED ON PLAN.
 - ALL TRAP & WASTE SHALL BE INSULATED AND OFFSET TO BE ADA COMPLIANT.
 - VERIFY ROUGH-IN PRIOR TO PURCHASE OF PLUMBING FIXTURE.
 - SIZES SHOWN ON PLAN.
 - FLUSH HANDLE SHALL BE LOCATED TO MEET ADA REQUIREMENTS.
 - PROVIDE THERMOSTATIC MIXING VALVE THAT CONFORMS TO ASSE 1070 AND LIMITS TEMPERED WATER TO A MAX. 110° F (MODEL LEONARD 170A-LF).
 - FAUCETS EQUIPPED WITH THREADED HOSE CONNECTIONS MUST BE PROVIDED WITH APPROVED BACKFLOW PREVENTERS.
 - WATER SUPPLY LINES TO AUTOMATIC CLOTHES WASHER MUST BE PROTECTED AGAINST BACKFLOW BY THE USE OF AN AIR GAP OR APPROVED VACUUM BREAKER. DISCHARGE THROUGH AIR BREAK.
 - MOUNT TOP OF WASHER BOX NO MORE THAN 42" A.F.F. COORDINATE WITH MANUFACTURER'S REQUIREMENTS.
 - A WATER SUPPLY LINE TO A HAND HELD SHOWER SPRAY SHALL BE PROTECTED AGAINST BACKFLOW BY THE USE OF AN IN-LINE VACUUM BREAKER.
 - SHOWERS AND COMBINATION SHOWER-BATHS SHALL BE EQUIPPED WITH ANTI-SCALD CONTROL VALVES. THESE VALVES MUST BE OF THE THERMOSTATIC OR PRESSURE BALANCE TYPE IN ACCORDANCE WITH ANSI/ASSE STANDARD 1016-96. THE INSTALLER MUST VERIFY THAT THE MAXIMUM TEMPERATURE SETTING FROM THE FACTORY IS SET OR ADJUSTED IN ACCORDANCE WITH THE STANDARD. IT IS RECOMMENDED THAT THE MAXIMUM SETTING OF THE DISCHARGE TEMPERATURE DOES NOT EXCEED 110-DEGREES F.
 - FOR ADA COMPLIANCE, PROVIDE GRAB BARS AND FOLD-UP SEAT. SEE ARCHITECTURAL DRAWINGS FOR REQUIRED GRAB BAR CONFIGURATION.
 - PROVIDE WALL MOUNTED FIXTURE CARRIER.
 - COORDINATE MOUNTING HEIGHTS WITH ARCHITECTURAL.
 - FINAL PLUMBING FIXTURE SUBMITTALS SHALL COMPLY WITH SPECIFIED BABAA REQUIREMENTS WHEREVER POSSIBLE AND SHALL INCLUDE ALL APPROPRIATE BABAA DOCUMENTATION AND STATEMENTS ATTESTING COMPLIANCE.

- WATER CLOSET: FLOOR MOUNT, TANK-TYPE, REAR OUTLET, ADA (WC-1)
- WATER CLOSET: AMERICAN STANDARD MODEL 209AA137, VITREOUS CHINA, RIGHT HEIGHT ELONGATED SIPHON ACTION BOWL, HIGH EFFICIENCY 1.28 GPF, 17" RIM HEIGHT, 2-1/16 TRAPWAY, DUAL INJECTION FLUSH VALVES, CHROME TRIP LEVER INCLUDED, FOUR COLOR-MATCHED BOLT CAPS - WHITE.
 - SEAT: BEMIS MODEL 1500EC, ELONGATED, CLOSED FRONT WITH COVER, ADA OR APPROVED EQUAL IF BABA COMPLIANT.
 - WALL CARRIER: JOSAM, OR EQUAL IF BABA COMPLIANT. NARROW ALL HORIZONTAL SIPHON JET WATER CLOSET CARRIER SYSTEM, WITH HIGH PERFORMANCE DURA-COATED CAST IRON MAIN FITTING WITH HYDRO-MECHANICALLY OPTIMIZED SWEEP, 4" NO-HUB CONNECTIONS, AND EXTENDED 2" VENT. COMPLETE SYSTEM INCLUDES AN ADJUSTABLE, GASKETED FACEPLATE; FLOOR MOUNTED FOOT SUPPORTS; FIXTURE BOLTS, TRIM, AND STUD PROTECTORS. NARROW WALL SYSTEM COMPLIES WITH ALL APPLICABLE REQUIREMENTS OF ASME A11.6.1M UP TO A 500 LBS MAX. STATIC LOAD.
 - ACCESSORIES: 1/4 TURN FIXTURE VALVE STOPS FOR WATER VALVES AND ESCUTCHEON PLATES TO BE INSTALLED AT ALL PIPE PENETRATIONS.

- WATER CLOSET: FLOOR MOUNT, TANK-TYPE, REAR OUTLET (WC-2)
- WATER CLOSET: AMERICAN STANDARD MODEL 209AA137, VITREOUS CHINA, RIGHT HEIGHT ELONGATED SIPHON ACTION BOWL, HIGH EFFICIENCY 1.28 GPF, 17" RIM HEIGHT, 2-1/16 TRAPWAY, DUAL INJECTION FLUSH VALVES, CHROME TRIP LEVER INCLUDED, FOUR COLOR-MATCHED BOLT CAPS - WHITE.
 - SEAT: BEMIS MODEL 1500EC, ELONGATED, CLOSED FRONT WITH COVER, ADA OR APPROVED EQUAL IF BABA COMPLIANT.
 - WALL CARRIER: JOSAM, OR EQUAL IF BABA COMPLIANT. NARROW ALL HORIZONTAL SIPHON JET WATER CLOSET CARRIER SYSTEM, WITH HIGH PERFORMANCE DURA-COATED CAST IRON MAIN FITTING WITH HYDRO-MECHANICALLY OPTIMIZED SWEEP, 4" NO-HUB CONNECTIONS, AND EXTENDED 2" VENT. COMPLETE SYSTEM INCLUDES AN ADJUSTABLE, GASKETED FACEPLATE; FLOOR MOUNTED FOOT SUPPORTS; FIXTURE BOLTS, TRIM, AND STUD PROTECTORS. NARROW WALL SYSTEM COMPLIES WITH ALL APPLICABLE REQUIREMENTS OF ASME A11.6.1M UP TO A 500 LBS MAX. STATIC LOAD.
 - ACCESSORIES: 1/4 TURN FIXTURE VALVE STOPS FOR WATER VALVES AND ESCUTCHEON PLATES TO BE INSTALLED AT ALL PIPE PENETRATIONS.

- WATER CLOSET: FLOOR MOUNT, TANK-TYPE, REAR OUTLET, ADA (WC-3)
- WATER CLOSET: AMERICAN STANDARD MODEL 209AA137, VITREOUS CHINA, RIGHT HEIGHT ELONGATED SIPHON ACTION BOWL, HIGH EFFICIENCY 1.28 GPF, 17" RIM HEIGHT, 2-1/16 TRAPWAY, DUAL INJECTION FLUSH VALVES, CHROME TRIP LEVER INCLUDED, FOUR COLOR-MATCHED BOLT CAPS - WHITE.
 - SEAT: [BEMIS] MODEL [1955SSCT], OPEN SEAT ELONGATED, ADA OR APPROVED EQUAL IF BABA COMPLIANT.
 - WALL CARRIER: JOSAM, OR EQUAL IF BABA COMPLIANT. NARROW ALL HORIZONTAL SIPHON JET WATER CLOSET CARRIER SYSTEM, WITH HIGH PERFORMANCE DURA-COATED CAST IRON MAIN FITTING WITH HYDRO-MECHANICALLY OPTIMIZED SWEEP, 4" NO-HUB CONNECTIONS, AND EXTENDED 2" VENT. COMPLETE SYSTEM INCLUDES AN ADJUSTABLE, GASKETED FACEPLATE; FLOOR MOUNTED FOOT SUPPORTS; FIXTURE BOLTS, TRIM, AND STUD PROTECTORS. NARROW WALL SYSTEM COMPLIES WITH ALL APPLICABLE REQUIREMENTS OF ASME A11.6.1M UP TO A 500 LBS MAX. STATIC LOAD.
 - ACCESSORIES: 1/4 TURN FIXTURE VALVE STOPS FOR WATER VALVES AND ESCUTCHEON PLATES TO BE INSTALLED AT ALL PIPE PENETRATIONS.

- WATER CLOSET: FLOOR MOUNT, FLUSH VALVE, ADA (WC-4)
- WATER CLOSET: **EXISTING TO REMAIN AS IS.**
 - FLUSH VALVE: **EXISTING TO REMAIN AS IS.**
 - ACCESSORIES: 1/4 TURN FIXTURE VALVE STOPS FOR WATER VALVES AND ESCUTCHEON PLATES TO BE INSTALLED AT ALL PIPE PENETRATIONS.

- LAVATORY: WALL MOUNT, ADA (L-1)
- SINK:
 - EXISTING LAVATORY SINK TO REMAIN AS IS.**
 - FAUCET: CHICAGO FAUCETS NO. 40-POABCP, DECK-MOUNTED MANUAL FAUCET.
 - SINK FAUCET FOR HOT AND COLD WATER, SINGLE LEVER, DECK-MOUNTED WITH 4" CENTERS, CHROME PLATED.
 - INCLUDES POP-UP WASTE.
 - RIGID, CAST BRASS SPOUT, 4-5/8" CENTER-TO-CENTER.
 - 1.5 GPM PRESSURE COMPENSATING, NON-AERATING, LAMINAR OUTLET.
 - 2-1/2" DIAMETER POP-UP DRAIN.
 - 1/2" NPSM SUPPLY INLETS FOR 3/8" OR 1/2" FLEXIBLE RISER.
 - DRAIN: CHROME PLATED GRID DRAIN WITH TAILPIECE.
 - CARRIER: CONCEALED ARM CARRIER SYSTEM, HANGER PROVIDED WITH SINK.
 - ACCESSORIES: 1/4 TURN FIXTURE VALVE STOPS FOR WATER VALVES AND ESCUTCHEON PLATES TO BE INSTALLED AT ALL PIPE PENETRATIONS.

- LAVATORY: WALL MOUNT (L-2)
- SINK:
 - EXISTING LAVATORY SINK TO REMAIN AS IS.**
 - FAUCET: CHICAGO FAUCETS NO. 40-POABCP, DECK-MOUNTED MANUAL FAUCET.
 - SINK FAUCET FOR HOT AND COLD WATER, SINGLE LEVER, DECK-MOUNTED WITH 4" CENTERS, CHROME PLATED.
 - INCLUDES POP-UP WASTE.
 - RIGID, CAST BRASS SPOUT, 4-5/8" CENTER-TO-CENTER.
 - 1.5 GPM PRESSURE COMPENSATING, NON-AERATING, LAMINAR OUTLET.
 - 2-1/2" DIAMETER POP-UP DRAIN.
 - 1/2" NPSM SUPPLY INLETS FOR 3/8" OR 1/2" FLEXIBLE RISER.
 - DRAIN: CHROME PLATED GRID DRAIN WITH TAILPIECE.
 - CARRIER: CONCEALED ARM CARRIER SYSTEM, HANGER PROVIDED WITH SINK.
 - ACCESSORIES: 1/4 TURN FIXTURE VALVE STOPS FOR WATER VALVES AND ESCUTCHEON PLATES TO BE INSTALLED AT ALL PIPE PENETRATIONS.

- LAVATORY: WALL MOUNT, ADA (L-3)
- SINK:
 - EXISTING LAVATORY SINK TO REMAIN AS IS.**
 - FAUCET: CHICAGO FAUCETS NO. 40-POABCP, DECK-MOUNTED MANUAL FAUCET.
 - SINK FAUCET FOR HOT AND COLD WATER, SINGLE LEVER, DECK-MOUNTED WITH 4" CENTERS, CHROME PLATED.
 - INCLUDES POP-UP WASTE.
 - RIGID, CAST BRASS SPOUT, 4-5/8" CENTER-TO-CENTER.
 - 1.5 GPM PRESSURE COMPENSATING, NON-AERATING, LAMINAR OUTLET.
 - 2-1/2" DIAMETER POP-UP DRAIN.
 - 1/2" NPSM SUPPLY INLETS FOR 3/8" OR 1/2" FLEXIBLE RISER.
 - DRAIN: CHROME PLATED GRID DRAIN WITH TAILPIECE.
 - CARRIER: CONCEALED ARM CARRIER SYSTEM, HANGER PROVIDED WITH SINK.
 - ACCESSORIES: 1/4 TURN FIXTURE VALVE STOPS FOR WATER VALVES AND ESCUTCHEON PLATES TO BE INSTALLED AT ALL PIPE PENETRATIONS.

- SHOWER, ADA (SH-1)
- BASE: **EXISTING TILED SHOWER TO REMAIN AS IS.**
 - TRIM: CHICAGO FAUCETS NO SH-PB1-00-044, PRESSURE BALANCING TUB AND SHOWER SYSTEM WITH HAND SPRAY N 36" ADA GRAB BAR.
 - TUB AND SHOWER SYSTEM WITH PRESSURE BALANCING VALVE, WALL-MOUNTED. CHROME PLATED.
 - INCLUDES PRESSURE BALANCING CARTRIDGE.
 - 1/2" NOMINAL COPPER AN 1/2" NPT HOT AND COLD SUPPLY INLETS AND OUTLETS.
 - SHOWER VALVE CYCLES FROM COLD TO HOT.
 - WALL PLATE INCLUDES EMBOSSED AND COLOR-CODED TEMPERATURE INDEX.
 - INTEGRAL SERVICE STOPS WITH CHECKS TO PREVENT CROSS-FLOW.
 - INCLUDES WALL ELBOW AND IN-LINE VACUUM BREAKER. 1.5 GPM HAND SPRAY WITH 69" STAINLESS STEEL HOSE AND PAUSE CONTROL. 36" WALL-MOUNTED ADA GRAB BAR WITH HAND SPRAY HOLDER.
 - DRAIN: OATEY PRODUCT NUMBER 42150. OATEY AND PLASTIC NO-CAULK SHOWER DRAINS ARE DESIGNED FOR USE WITH PREFORMED SHOWER STALL BASES. THE DRAIN BODY IS SEALED TO THE SHOWER BASE WITH A FIBER AND RUBBER WASHER. 2" SCHEDULE 40 DWV PIPE IS SECURED WITH MECHANICALLY COMPRESSED GASKET THAT DOES NOT REQUIRE CAULKING. DRAIN TOP ACCOMMODATES 4-1/4" UNIVERSAL SNAP-TITE STRAINERS AVAILABLE IN A VARIETY OF DESIGNER FINISHES. COORDINATE FINISH WITH OWNER/ARCHITECT.
 - ACCESSORIES: 1/4 TURN FIXTURE VALVE STOPS FOR WATER VALVES AND ESCUTCHEON PLATES TO BE INSTALLED AT ALL PIPE PENETRATIONS.

- SHOWER (SH-2)
- BASE: **EXISTING TILED SHOWER TO REMAIN AS IS.**
 - TRIM: CHICAGO FAUCETS NO SH-PB1-00-044, PRESSURE BALANCING TUB AND SHOWER SYSTEM WITH HAND SPRAY N 36" ADA GRAB BAR.
 - TUB AND SHOWER SYSTEM WITH PRESSURE BALANCING VALVE, WALL-MOUNTED. CHROME PLATED.
 - INCLUDES PRESSURE BALANCING CARTRIDGE.
 - 1/2" NOMINAL COPPER AN 1/2" NPT HOT AND COLD SUPPLY INLETS AND OUTLETS.
 - SHOWER VALVE CYCLES FROM COLD TO HOT.
 - WALL PLATE INCLUDES EMBOSSED AND COLOR-CODED TEMPERATURE INDEX.
 - INTEGRAL SERVICE STOPS WITH CHECKS TO PREVENT CROSS-FLOW.
 - INCLUDES WALL ELBOW AND IN-LINE VACUUM BREAKER. 1.5 GPM HAND SPRAY WITH 69" STAINLESS STEEL HOSE AND PAUSE CONTROL. 36" WALL-MOUNTED ADA GRAB BAR WITH HAND SPRAY HOLDER.
 - DRAIN: OATEY PRODUCT NUMBER 42150. OATEY AND PLASTIC NO-CAULK SHOWER DRAINS ARE DESIGNED FOR USE WITH PREFORMED SHOWER STALL BASES. THE DRAIN BODY IS SEALED TO THE SHOWER BASE WITH A FIBER AND RUBBER WASHER. 2" SCHEDULE 40 DWV PIPE IS SECURED WITH MECHANICALLY COMPRESSED GASKET THAT DOES NOT REQUIRE CAULKING. DRAIN TOP ACCOMMODATES 4-1/4" UNIVERSAL SNAP-TITE STRAINERS AVAILABLE IN A VARIETY OF DESIGNER FINISHES. COORDINATE FINISH WITH OWNER/ARCHITECT.
 - ACCESSORIES: 1/4 TURN FIXTURE VALVE STOPS FOR WATER VALVES AND ESCUTCHEON PLATES TO BE INSTALLED AT ALL PIPE PENETRATIONS.

- SINK: DOUBLE BOWL, ADA (S-1)
- SINK:
 - EXISTING KITCHEN SINK TO REMAIN AS IS.**
 - FAUCET: CHICAGO FAUCETS NO. 431-ABCP, DECK MOUNTED MANUAL SINK FAUCET.
 - SINK FAUCET FOR HOT AND COLD WATER, SINGLE LEVER, DECK-MOUNTED WITH 8" FIXED CENTERS, CHROME PLATED.
 - INTEGRAL, TUBULAR BRASS SPOUT, 8" CENTER-TO-CENTER.
 - 1.5 GPM PRESSURE COMPENSATING, NON-AERATOR, LAMINAR OUTLET.
 - 1/2" NPSM SUPPLY INLETS FOR 3/8" OR 1/2" FLEXIBLE RISER.
 - USER-ADJUSTABLE TEMPERATURE CONTROL MIXER. INCLUDES TEMPERATURE LIMITER.
 - ACCESSORIES: 1/4 TURN FIXTURE VALVE STOPS FOR WATER VALVES AND ESCUTCHEON PLATES TO BE INSTALLED AT ALL PIPE PENETRATIONS.
 - DRAIN: DAYTON MODEL D1125. DAYTON 3-1/2" STAINLESS STEEL DRAIN WITH REMOVABLE BASKET STRAINER AND RUBBER STOPPER.

- SINK: DOUBLE BOWL (S-2)
- SINK:
 - EXISTING KITCHEN SINK TO REMAIN AS IS.**
 - FAUCET: CHICAGO FAUCETS NO. 431-ABCP, DECK MOUNTED MANUAL SINK FAUCET.
 - SINK FAUCET FOR HOT AND COLD WATER, SINGLE LEVER, DECK-MOUNTED WITH 8" FIXED CENTERS, CHROME PLATED.
 - INTEGRAL, TUBULAR BRASS SPOUT, 8" CENTER-TO-CENTER.
 - 1.5 GPM PRESSURE COMPENSATING, NON-AERATOR, LAMINAR OUTLET.
 - 1/2" NPSM SUPPLY INLETS FOR 3/8" OR 1/2" FLEXIBLE RISER.
 - USER-ADJUSTABLE TEMPERATURE CONTROL MIXER. INCLUDES TEMPERATURE LIMITER.
 - ACCESSORIES: 1/4 TURN FIXTURE VALVE STOPS FOR WATER VALVES AND ESCUTCHEON PLATES TO BE INSTALLED AT ALL PIPE PENETRATIONS.
 - DRAIN: DAYTON MODEL D1125. DAYTON 3-1/2" STAINLESS STEEL DRAIN WITH REMOVABLE BASKET STRAINER AND RUBBER STOPPER.

- SINK: DOUBLE BOWL, ADA (S-3)
- SINK:
 - EXISTING KITCHEN SINK TO REMAIN AS IS.**
 - FAUCET: CHICAGO FAUCETS NO. 431-ABCP, DECK MOUNTED MANUAL SINK FAUCET.
 - SINK FAUCET FOR HOT AND COLD WATER, SINGLE LEVER, DECK-MOUNTED WITH 8" FIXED CENTERS, CHROME PLATED.
 - INTEGRAL, TUBULAR BRASS SPOUT, 8" CENTER-TO-CENTER.
 - 1.5 GPM PRESSURE COMPENSATING, NON-AERATOR, LAMINAR OUTLET.
 - 1/2" NPSM SUPPLY INLETS FOR 3/8" OR 1/2" FLEXIBLE RISER.
 - USER-ADJUSTABLE TEMPERATURE CONTROL MIXER. INCLUDES TEMPERATURE LIMITER.
 - ACCESSORIES: 1/4 TURN FIXTURE VALVE STOPS FOR WATER VALVES AND ESCUTCHEON PLATES TO BE INSTALLED AT ALL PIPE PENETRATIONS.
 - DRAIN: DAYTON MODEL D1125. DAYTON 3-1/2" STAINLESS STEEL DRAIN WITH REMOVABLE BASKET STRAINER AND RUBBER STOPPER.

- SINK: SINGLE BOWL, ADA (S-4)
- SINK:
 - EXISTING KITCHEN SINK TO REMAIN AS IS.**
 - FAUCET: CHICAGO FAUCETS NO. 431-ABCP, DECK MOUNTED MANUAL SINK FAUCET.
 - SINK FAUCET FOR HOT AND COLD WATER, SINGLE LEVER, DECK-MOUNTED WITH 8" FIXED CENTERS, CHROME PLATED.
 - INTEGRAL, TUBULAR BRASS SPOUT, 8" CENTER-TO-CENTER.
 - 1.5 GPM PRESSURE COMPENSATING, NON-AERATOR, LAMINAR OUTLET.
 - 1/2" NPSM SUPPLY INLETS FOR 3/8" OR 1/2" FLEXIBLE RISER.
 - USER-ADJUSTABLE TEMPERATURE CONTROL MIXER. INCLUDES TEMPERATURE LIMITER.
 - ACCESSORIES: 1/4 TURN FIXTURE VALVE STOPS FOR WATER VALVES AND ESCUTCHEON PLATES TO BE INSTALLED AT ALL PIPE PENETRATIONS.
 - DRAIN: DAYTON MODEL D1125. DAYTON 3-1/2" STAINLESS STEEL DRAIN WITH REMOVABLE BASKET STRAINER AND RUBBER STOPPER.

- LAUNDRY UTILITY SINK (LT-1)
- SINK: MUSTEE MODEL 10, ONE PIECE, SEAMLESS CONSTRUCTION WITH SELF-RIMMING EDGE. 17 GALLON CAPACITY, EXTRA DEEP BOWL. COLOR WHITE.
 - FAUCET: TWO HANDLE LAUNDRY FAUCET.
 - CHICAGO MODEL 891-ABCP: DECK-MOUNTED MANUAL FAUCET, 2.2 GPM MAX FLOW, S-TYPE SWING SPOUT, 4-INCH FIXED CENTERS, QUATURN HANDLES.
 - ACCESSORIES: INTEGRAL 1-1/2" DRAIN ASSEMBLY, STOPPER, 1/4 TURN FIXTURE VALVE STOPS FOR WATER VALVES, AND ESCUTCHEON PLATES TO BE INSTALLED AT ALL PIPE PENETRATIONS.

WASHER BOX (WB-1)

SINK: GUY GRAY MODEL T200. WHITE POWDER COATED ON COLD ROLLED STEEL FINISH. 20 GAUGE BOX AND 20 GAUGE FACEPLATE. 1/4 TURN HAMMER ARRESTER VALVES. 2" SLIPNUT OR PVC RAIN FITTINGS FURNISHED.

- EXTERIOR WALL HYDRANT (H-1)
- WOODFORD MODEL [65].
 - AUTOMATIC DRAINING WITH ANTI-SIPHON VACUUM BREAKER (ASSE 1011).
 - ASSE STANDARD 1019.5 APPROVED 3/4" INLET AND OUTLET.
 - HARDENED STAINLESS STEEL OPERATING STEM AND ONE-PIECE VALVE PLUNGER TO CONTROL BOTH FLOW AND DRAIN FUNCTIONS. EXTERIOR FINISH TO BE CHROME PLATED. LOOSE TEE KEY TO BE FURNISHED WITH EACH HYDRANT.

- FLOOR DRAIN (FD-1)
- MODEL: SIOUX CHIEF 833 SERIES.
 - CONSTRUCTION: FINISHLINE ADJUSTABLE ABOVE-GRADE FLASHING DRAIN. FLASHING DRAIN SHALL ALLOW ADJUSTMENT OF 1-1/4" BEFORE THE CONCRETE POUR, AND 1-1/4" AFTER THE CONCRETE POUR. FLASHING DRAIN SHALL HAVE AN INVERTIBLE FLASHING COLLAR WITH OPENINGS TO ALLOW SECONDARY DRAINAGE AND PVC BASE ADAPTER. STRAINER SHALL BE HEEL-RESISTANT AND MEET APPLICABLE LOAD REQUIREMENTS FOR INTENDED USE.
 - CONFORMANCE: ASME A112.6.3-2001.

- BATHTUB, ADA (BT-1)
- BASE: **EXISTING BATHTUB TO REMAIN AS IS.**
 - TRIM: CHICAGO FAUCETS NO. SH-PB1-03-100, TUB AND SHOWER SYSTEM WITH PRESSURE BALANCING VALVE, SHOWER HEAD, AND DIVERTER TUB SPOUT, WALL-MOUNTED. CHROME PLATED. TUB SPOUT WITH DIVERTER, 5-3/8" CENTER-TO-CENTER. SHOWER HEAD WITH BALL JOINT, 1.5 GPM MAX. FLOW RATE @ 80 PSI.
 - INCLUDES PRESSURE BALANCING CARTRIDGE.
 - 1/2" NOMINAL COPPER AN 1/2" NPT HOT AND COLD SUPPLY INLETS AND OUTLETS.
 - SHOWER VALVE CYCLES FROM COLD TO HOT.
 - WALL PLATE INCLUDES EMBOSSED AND COLOR-CODED TEMPERATURE INDEX.
 - INTEGRAL SERVICE STOPS WITH CHECKS TO PREVENT CROSS-FLOW.
 - DRAIN: PROFFLO PFW0400 SERIES, W & O BATH DRAIN - PLASTIC TUBULAR.
 - ACCESSORIES: 1/4 TURN FIXTURE VALVE STOPS FOR WATER VALVES AND ESCUTCHEON PLATES TO BE INSTALLED AT ALL PIPE PENETRATIONS.

- BATHTUB, ADA (BT-2)
- BASE: **EXISTING BATHTUB TO REMAIN AS IS.**
 - TRIM: CHICAGO FAUCETS NO. SH-PB1-03-100, TUB AND SHOWER SYSTEM WITH PRESSURE BALANCING VALVE, SHOWER HEAD, AND DIVERTER TUB SPOUT, WALL-MOUNTED. CHROME PLATED. TUB SPOUT WITH DIVERTER, 5-3/8" CENTER-TO-CENTER. SHOWER HEAD WITH BALL JOINT, 1.5 GPM MAX. FLOW RATE @ 80 PSI.
 - INCLUDES PRESSURE BALANCING CARTRIDGE.
 - 1/2" NOMINAL COPPER AN 1/2" NPT HOT AND COLD SUPPLY INLETS AND OUTLETS.
 - SHOWER VALVE CYCLES FROM COLD TO HOT.
 - WALL PLATE INCLUDES EMBOSSED AND COLOR-CODED TEMPERATURE INDEX.
 - INTEGRAL SERVICE STOPS WITH CHECKS TO PREVENT CROSS-FLOW.
 - DRAIN: PROFFLO PFW0400 SERIES, W & O BATH DRAIN - PLASTIC TUBULAR.
 - ACCESSORIES: 1/4 TURN FIXTURE VALVE STOPS FOR WATER VALVES AND ESCUTCHEON PLATES TO BE INSTALLED AT ALL PIPE PENETRATIONS.

HOT WATER RECIRCULATION PUMP SCHEDULE

UNIT TAG	LOCATION	MANUFACTURER	MODEL	DESCRIPTION	FLUID FLOW (GPM)	WPD (FT H2O)	PUMP SPEED (RPM)	MOTOR HP	VOLTAGE	PH	FLA	MCA	MOCp	DISC. BY	STARTER BY	CONTROLS	WEIGHT (LBS)	NOTES
HWCP-1	PENTHOUSE	BELL & GOSSET	e9-0	DHW	8				120 V	1				MFR	ELECT	TIMER & AQUASTAT		1,2

- NOTES :
- PUMP SHALL BE CONTROLLED BY AQUASTAT SET AT 105°F.
 - PROVIDE STAINLESS STEEL ECM CIRCULATOR.

BOOSTER PUMP SCHEDULE

UNIT TAG	LOCATION	SERVES	MFRG.	MODEL	FLOW RATE (GPM)	HEAD (FT)	V/PH/HZ	RPM	MOTOR	DC SWITCH BY	STARTER BY	CONTROLS	NOTES
PBP-1	RISER ROOM1-R	DOMESTIC WATER SYSTEM	DELTA P CARVER	HBEA-2BND	40	69	208/3/60	2589	3-HP	MFR	MFR	MFR	1,2

- NOTES:
- BOOSTER PUMP SYSTEM SHALL INCLUDE DUPLEX PUMPS. EACH PUMP IS SIZED FOR 100% FLOW RATE. TOTAL SYSTEM FLOW RATE = 40 GPM AT 69 FT HEAD.
 - PROVIDE WITH BACNET COMPATIBLE CONTROLS/COMMUNICATION.



Blumentals Architecture

1600 Marshall Street NE, Suite 1
Minneapolis, MN 55413
612/331-2222
info@blumentals.com

DESIGN TREE
engineering + land surveying

Corporate Office:
120 17th Ave W Alexandria, MN 56308
888-210-1916

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of

MINNESOTA 08-03-26
sign date
PAUL E. QUIRIN #26118
License No.

Δ	ISSUES / REVISIONS
1	06-11-26 70% MHFA REVIEW
2	07-13-26 95% MHFA REVIEW
3	08-03-26 100% CD BID SET

EXISTING CONDITIONS

VERIFY ALL EXISTING CONSTRUCTION DIMENSIONS, ELEVATIONS AND CONDITIONS BEFORE STARTING ANY CONSTRUCTION. REVIEW ANY DISCREPANCIES WITH THE ARCHITECT. ADJUST NEW CONSTRUCTION AS REQUIRED.

Empire Apartments

54 4th Ave. N.
St. Cloud, MN 56303

B/A PROJECT NUMBER: 625-47
PLUMBING SCHEDULES

P801