



**Date: March 9, 2023**

**ADDENDUM # 1**

**PROJECT NAME:**

**St. Cloud HRA  
Westwood Village Apartments I & II  
Roof Replacement**

**ARCHITECT:  
GLTARCHITECTS  
808 COURTHOUSE SQUARE  
ST. CLOUD, MINNESOTA 56303**

This addendum shall be added to and become a part of the original plans and specifications dated February 23, 2023. All items shall be as originally specified or drawn unless specifically amended by this or subsequent addenda.

**I. SPECIFICATIONS**

**A. SECTION 00 01 10 – TABLE OF CONTENTS**

1. Add Section 01 22 00 – UNIT PRICES

**B. SECTION 00 41 13 – BID FORM**

1. See attached revised BID FORM to be used to submit bids.

**C. SECTION 01 11 00 – SUMMARY OF WORK**

1. Paragraph 1.3, clarification. Start of construction may be earlier than September 18, 2023. Construction not to begin until new materials are on site.

**D. SECTION 01 22 00 – UNIT PRICES**

1. Add new section.

**E. SECTION 01 50 00 – TEMPORARY FACILITIES & CONTROLS**

1. Job trailer, storage of materials and parking can be in open grass area north of the apartment 1. Contractor to smooth out any ruts caused by equipment on site.
2. Workday to start at 8:00 am. Contractor can work late in the day unless there are complaints.
3. Contractor to submit and pay for building permit.
4. Protect fence on property east of Apartments II garages.

**F. SECTION 07 31 13 – ASPHALT SHINGLES**

1. See revised specification section.

**II. DRAWINGS**

- A.** Add the re-roof of 2 building signs. See photo on Sheet A2.3. Also include signs in alternate 1.
- B.** Added to the notes is the removal and reinstall of the antennas. Owner will re-calibrate antennas.
- C.** The garages are not heated. They will not require ice and water shield.

END OF ADDENDUM

**DOCUMENT 00 41 13 - BID FORM - STIPULATED SUM**

**BID DUE DATE:** March 14, 2023

**TO:** St. Cloud HRA  
1225 West St. Germain Street  
St. Cloud, MN 56301

**PROJECT:** Westwood Village Apartments I & II Roof Replacement.

**OWNER:** St. Cloud HRA  
1225 West St. Germain Street  
St. Cloud, MN 56301

**ARCHITECT:** GLTArchitects  
808 Courthouse Square  
St. Cloud, MN 56303

The undersigned, having become familiar with site of proposed Project and Bidding and Contract Documents for Project noted above, hereby proposes to provide Work per Contract Documents at Sum stated below.

**BASE BID**

(\$ \_\_\_\_\_)  
(Number) (Description)

Refer: To Specification Section 01 23 00 for complete description of alternates.

**ALTERNATES:**

Alternate 1:  
Replace the asphalt shingles with prefinished metal roofing.

(\$ \_\_\_\_\_)  
(Number) (Description)

**UNIT PRICES**

Unit Price A:  
(\$ \_\_\_\_\_ per S.F.) Removal of damaged roof sheathing and install new roof sheathing.

Accompanying this proposal is the Bid Security specified in Advertisement for Bids, the same being subject to forfeiture in the event of default by the undersigned.

**CONTRACT TIME**

Work of this Contract will commence upon Notice to Proceed: Start of construction to be September 18, 2023 and will be Substantially Complete no later than October 20, 2023.

I agree to Final Completion of Project by October 27, 2023.

Notice to Proceed will be given on or about March 25, 2023.

ADDENDA

Bidder hereby acknowledges receipt of the following Addenda. Modifications to Bid Documents noted therein have been considered and costs thereto are included in Base Bid Sum.

Addendum Numbers \_\_\_\_\_

ACKNOWLEDGMENTS

Bidder, in submitting this Bid, certifies that Bid is based upon careful examination of Bidding and Contract Documents and waives all rights to plead any misunderstanding.

Bidder, in submitting this Bid, understands that Owner reserves the right to reject any or all Bids, to waive any informality or irregularity in any Bid received, and to accept any Alternate(s) in any order or combination.

Bidder, in submitting this Bid, acknowledges that Bidder has read and fully understands Project Manual Document 00 21 13 – Advertisement for Bids.

CONTRACTOR ON-SITE PERSONNEL

Project Manager's Name: \_\_\_\_\_

Superintendent's Name: \_\_\_\_\_

**BIDDER IDENTIFICATION**

THE UNDERSIGNED operates as:

- incorporated in the State of Minnesota
- a Partnership
- a Proprietorship

**LEGAL NAME OF PERSON, FIRM OR CORPORATION**

Legal Name: \_\_\_\_\_

Address: \_\_\_\_\_

\_\_\_\_\_

Telephone: \_\_\_\_\_ Facsimile: \_\_\_\_\_

By: \_\_\_\_\_ Title: \_\_\_\_\_

(Signature of Authorized Signing Officer)

Company License No.: \_\_\_\_\_

Corporate Seal:

Federal ID Number (if applicable) \_\_\_\_\_

**END OF DOCUMENT**

## SECTION 01 22 00 - UNIT PRICES

### PART 1 - GENERAL

#### 1.1 SUMMARY

- A. Section Includes:
1. Administrative and procedural requirements for Unit Prices.

#### 1.2 DEFINITIONS

- A. Unit price is stated on Bid Form, as price per unit of measurement for materials or services added to or deducted from Contract Sum by appropriate modification, if estimated quantities of Work required by Contract Documents are increased or decreased.

#### 1.3 PROCEDURES

- A. Unit prices include necessary material, plus cost for delivery, installation, insurance, applicable taxes, overhead, and profit.
- B. Measurement and Payment: refer to individual Specification Sections for Work that requires establishment of Unit Prices. Methods of measurement and payment for Unit Prices are specified in those Sections.
- C. Owner reserves the right to reject Contractor's measurement of Work-in-place that involves use of established Unit Prices and to have this Work measured, at Owner's expense, by an independent surveyor acceptable to Contractor.
- D. List of Unit Prices: List of Unit Prices is included at end of this Section. Specification Sections referenced in schedule contain requirements for materials described under each unit price.

### PART 2 - PRODUCTS

NOT USED

### PART 3 - EXECUTION

#### 3.1 LIST OF UNIT PRICES

- A. Unit Price No.: 1
1. Description: Cost to remove roof sheathing that is damaged or has wood rot and install new ½" plywood.
  2. Unit of Measurement: Cost per square foot.

END OF SECTION

## SECTION 07 31 13 - ASPHALT SHINGLES

### PART 1 - GENERAL

#### 1.1 SUMMARY

- A. Section Includes:
  - 1. Asphalt shingles.
  - 2. Felt underlayment.
  - 3. Self-adhering sheet underlayment.
  - 4. Roof vents.
  - 5. Ridge vents.

#### 1.2 SUBMITTALS

- A. Comply with Section 01 33 00.
- B. Product Data: For each product indicated.
- C. Samples: For asphalt shingles, ridge/hip vents, ridge and hip cap shingles, and roof vents.
- D. Product test reports.
- E. Research/evaluation reports.

#### 1.3 QUALITY ASSURANCE

- A. Comply with Section 01 43 00.
- B. Source Limitations: Obtain ridge and hip cap shingles, shingles, felt underlayment, and self-adhering sheet underlayment through one source from a single asphalt shingle manufacturer.
- C. Fire-Test-Response Characteristics: Provide roofing materials with the fire-test-response characteristics indicated, as determined by testing identical products per test method below by UL or another testing and inspecting agency acceptable to authorities having jurisdiction. Identify materials with appropriate markings of applicable testing and inspecting agency.
  - 1. Exterior Fire-Test Exposure: Class A; ASTM E 108 or UL 790, for application and roof slopes indicated.

#### 1.4 WARRANTY

- A. Warranty: Manufacturer's Premium Warranty form in which manufacturer agrees to repair or replace asphalt shingles that fail in materials within specified warranty period.
  - 1. Workmanship warranty to be 25 years.
    - a. Certainteed - Sure Start Plus extended warranty 5 Star 25 Protection.
    - b. GAF – Golden Pledge
    - c. Owens-Corning – Platinum Protection.

## PART 2 - PRODUCTS

### 2.1 GLASS-FIBER-REINFORCED ASPHALT SHINGLES

- A. Conforming to ASTM D 3018 Type I - Self-Sealing; UL Certification of ASTM D 3462, UL 997 Wind Resistance, and UL Class A Fire Resistance; glass fiber mat base; ceramically colored/UV resistant mineral surface granules across entire face of shingle.
  - 1. Architectural or dimensional shingles.
  - 2. Color: As selected by Architect from manufacturer's standards.
  - 3. Acceptable Products:
    - a. Certaineed Roofing Products: Landmark Pro.
    - b. GAF Building Materials Corporation: Timberline HDZ.
    - c. Owens-Corning Roofing Products: Duration Series.
- B. Hip and Ridge Shingles: Manufacturer's standard units to match asphalt shingles. Fiberglass asphalt design, UL rated Class A.

### 2.2 UNDERLAYMENT MATERIALS

- A. Felts: ASTM D 226, Type No. 30, asphalt-saturated organic felts.
- B. Ice and Water Leak Barrier: Minimum 40-mil-thick, self-adhering, polymer-modified, bituminous sheet membrane, complying with ASTM D1970. Provide primer when recommended by underlayment manufacturer.
  - 1. Roll width: 36 inches.
  - 2. Acceptable products:
    - a. GAF Materials Corporation: WeatherWatch.
    - b. CertainTeed Corporation: WinterGuard.
    - c. Polyguard Products, Inc.: Polyguard Deck Guard.
    - d. Tamko Asphalt Products, Inc.:
    - e. Approved Substitutions. Moisture Guard.

### 2.3 ACCESSORIES

- A. Asphalt Roofing Cement: ASTM D 4586, Type II, asbestos free.
- B. Roofing Nails: ASTM F 1667; aluminum, stainless-steel, or hot-dip galvanized steel wire shingle nails, minimum 0.120-inch- diameter, shank as recommended by shingle manufacturer,, sharp-pointed, with a minimum 3/8-inch- diameter flat head and of sufficient length to penetrate 3/4 inch into solid wood decking or extend at least 1/8 inch through OSB or plywood sheathing.
  - 1. Where nails are in contact with metal flashing, use nails made from same metal as flashing.
- C. Roof Vents:
  - 1. Ridge/Hip Vent: Manufacturer's standard rigid section high-density polypropylene or other UV-stabilized plastic ridge vent with nonwoven geotextile filter strips; for use under ridge shingles.
    - a. Air Vent Inc., a CertainTeed Company: ShingleVent II.
    - b. GAF Materials Corporation: Cobra Rigid Vent II.
    - c. Owens Corning: VentSure Ridge Vent.
  - 2. Roof Vent Caps: Manufacturer's standard aluminum vent, with nonwoven geotextile filter strips; for use under ridge shingles. Color: Architect will select from manufacturer's standard color range.
    - a. The Solar Group: RV-51.
    - b. Owens Corning: RV1H.
    - c. Approved substitute.



- D. Felt Underlayment Nails: Aluminum or hot-dip galvanized steel wire with low profile capped heads or disc caps, 1-inch minimum diameter.

#### 2.4 METAL FLASHING AND TRIM

- A. Sheet Metal Flashing and Trim: Comply with Section 07 62 00 - Sheet Metal Flashing and Trim.
  - 1. Sheet Metal: Flashing and trim not exposed to view:
    - a. Zinc-Coated Steel: Commercial quality with 0.20 percent copper, ASTM A526, except ASTM A527 for lock-forming, G90 hot-dip galvanized, minimum 24 gauge except as otherwise indicated.
  - 2. Sheet Metal: Flashing and trim exposed to view from grade level or upper floors.
    - a. Pre-Finished Zinc-Coated Steel: Minimum 24 gauge, hot-dip galvanized steel, commercial quality A1 S1 G90 extra smooth, primed on both sides and finished on 1 side with 70 percent KYNAR based fluorocarbon coating of minimum 0.70 mils total dry film thickness. Conform to tests for adhesion, flexibility, and longevity for finish as specified by KYNAR 500 finish supplier.
      - 1) Color: Architect will select from manufacturer's full range of standard colors.
      - 2) Strippable coating: Shop-applied liquid to front side of pre-finished metal to protect finish during fabrication, shipment, and field handling.
- B. Fabricate sheet metal flashing and trim to comply with recommendations in SMACNA's "Architectural Sheet Metal Manual" that apply to design, dimensions, metal, and other characteristics of item.

### PART 3 - EXECUTION

#### 3.1 EXAMINATION

- A. Comply with Section 01 70 00.

#### 3.2 UNDERLAYMENT INSTALLATION

- A. Single-Layer Felt Underlayment: Install single layer of felt underlayment on roof deck perpendicular to roof slope in parallel courses. Lap sides a minimum of 2 inches over underlying course. Lap ends a minimum of 4 inches. Stagger end laps between succeeding courses at least 72 inches. Fasten with roofing nails.
- B. Self-Adhering Sheet Underlayment: Install self-adhering sheet underlayment, wrinkle free, on roof deck. Comply with low-temperature installation restrictions of underlayment manufacturer if applicable. Install at locations indicated, lapped in direction to shed water. Lap sides not less than 3-1/2 inches. Lap ends not less than 6 inches staggered 24 inches between courses. Roll laps with roller. Cover underlayment within 7 days.
  - 1. Install self-adhering sheet underlayment a minimum of 8 feet inside of exterior wall lines

#### 3.3 METAL FLASHING INSTALLATION

- A. General: Install metal flashings and other sheet metal to comply with requirements in Section 07 62 00 - Sheet Metal Flashing and Trim
  - 1. Install metal flashings per recommendations in ARMA's "Residential Asphalt Roofing Manual" and asphalt shingle recommendations in NRCA's "The NRCA Roofing and Waterproofing Manual."

#### 3.4 ASPHALT SHINGLE INSTALLATION

- A. Install asphalt shingles per manufacturer's written instructions, recommendations in ARMA's "Residential Asphalt Roofing Manual," and asphalt shingle recommendations in NRCA's "The NRCA Roofing and Waterproofing Manual."

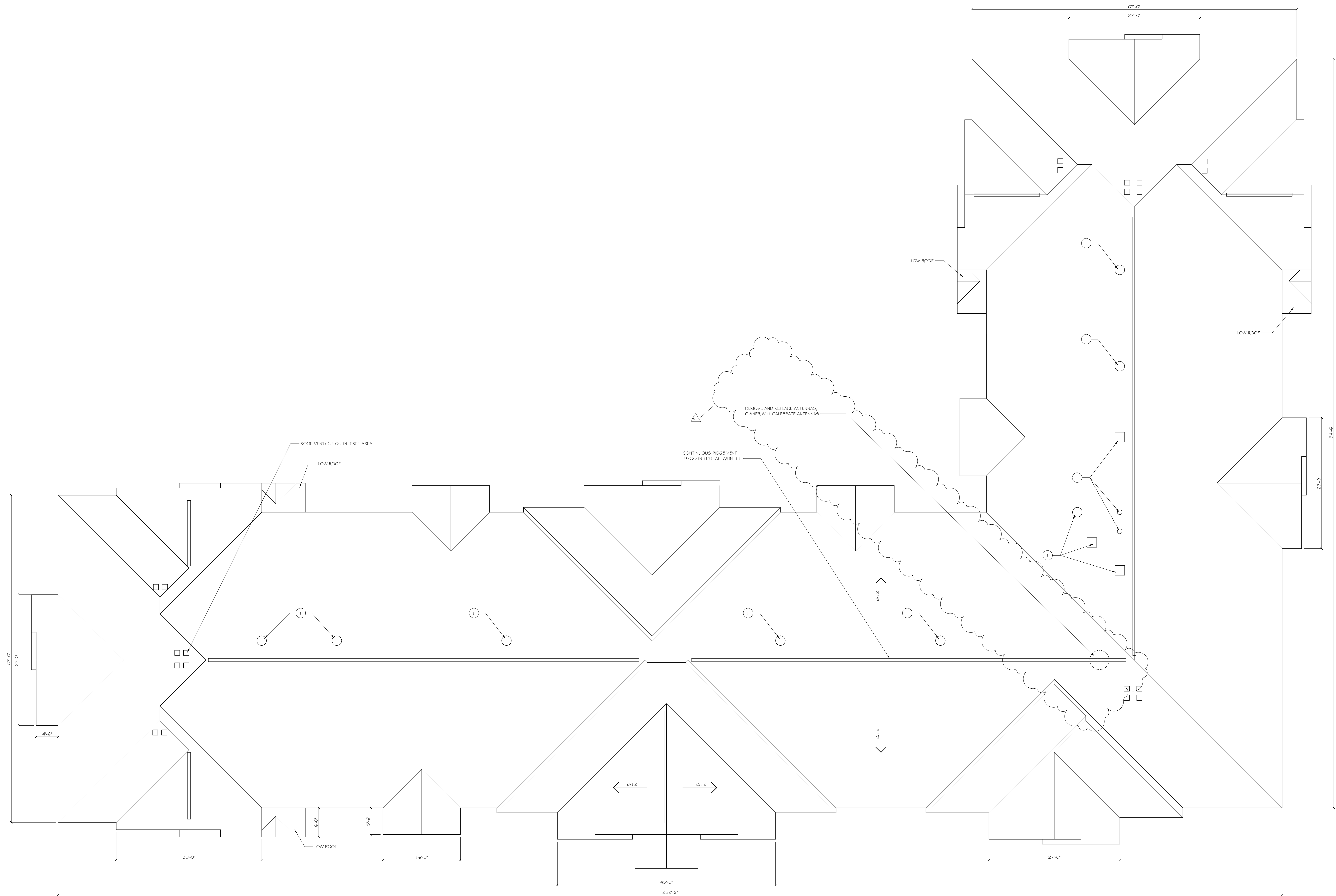
1. Extend asphalt shingles 3/4 inch over fascia at eaves and rakes.
- B. Fasten asphalt shingle strips with a minimum of number of roofing nails located per manufacturer's written instructions.
- C. Roof and Ridge/Hip Vents: Install vents per vent manufacturer's written instructions. Install vents where indicated on Drawings.
- D. Ridge Cap Shingles: Maintain same exposure of cap shingles as roofing shingle exposure. Lap cap shingles at ridges to shed water away from direction of prevailing winds. Fasten with roofing nails of sufficient length to penetrate sheathing.

END OF SECTION

*John P. ...*

KEY NOTES	
1	ROOF PENETRATIONS

GENERAL ROOF PLAN NOTES	
A.	REMOVE EXISTING SHINGLES AND ROOFING FELT.
B.	PROVIDE NEW ICE AND WATER SHIELD, ROOFING FELT AND SHINGLES.
C.	ALTERNATE #1 TO PROVIDE METAL ROOF IN LIEU OF ASPHALT SHINGLES.

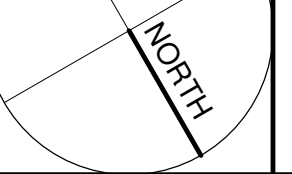


Revision Schedule		
Revision Number	Revision Description	Revision Date
R1	ADDENDUM 1	8 MARCH 2023

**WESTWOOD VILLAGE APARTMENTS I & II**  
**ROOF REPLACEMENT**

ST. CLOUD, MN

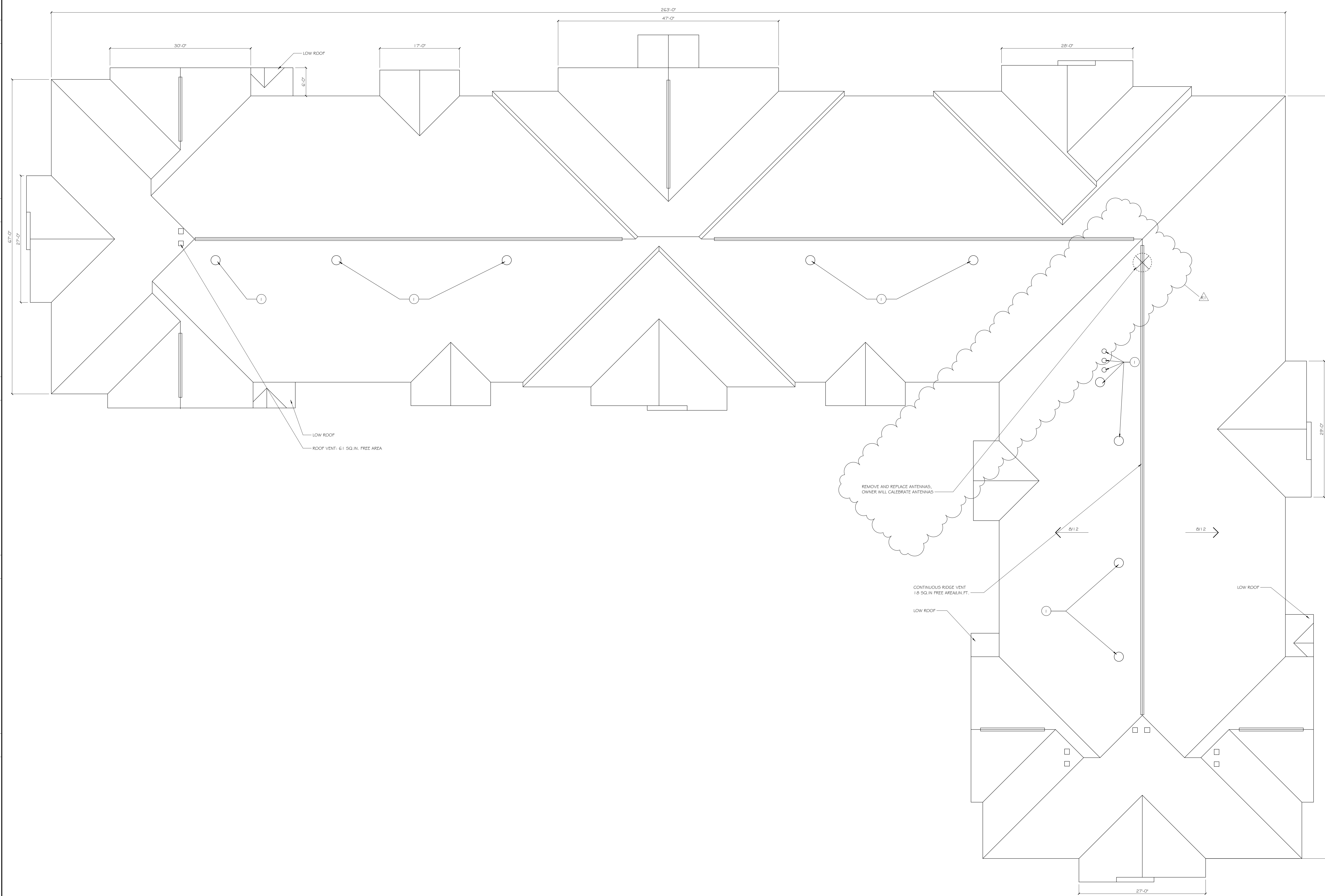
DATE	23 FEBRUARY 2023
PROJECT	2233



**A2.1**

KEY NOTES	
①	ROOF PENETRATIONS

GENERAL ROOF PLAN NOTES	
A.	REMOVE EXISTING SHINGLES AND ROOFING FELT.
B.	PROVIDE NEW ICE AND WATER SHIELD, ROOFING FELT AND SHINGLES.
C.	ALTERNATE #1 TO PROVIDE METAL ROOF IN LIEU OF ASPHALT SHINGLES.

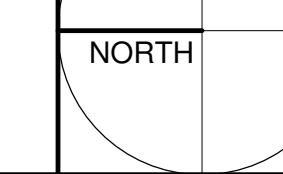


Revision Schedule		
Revision Number	Revision Description	Revision Date
R1	ADDENDUM 1	8 MARCH 2023

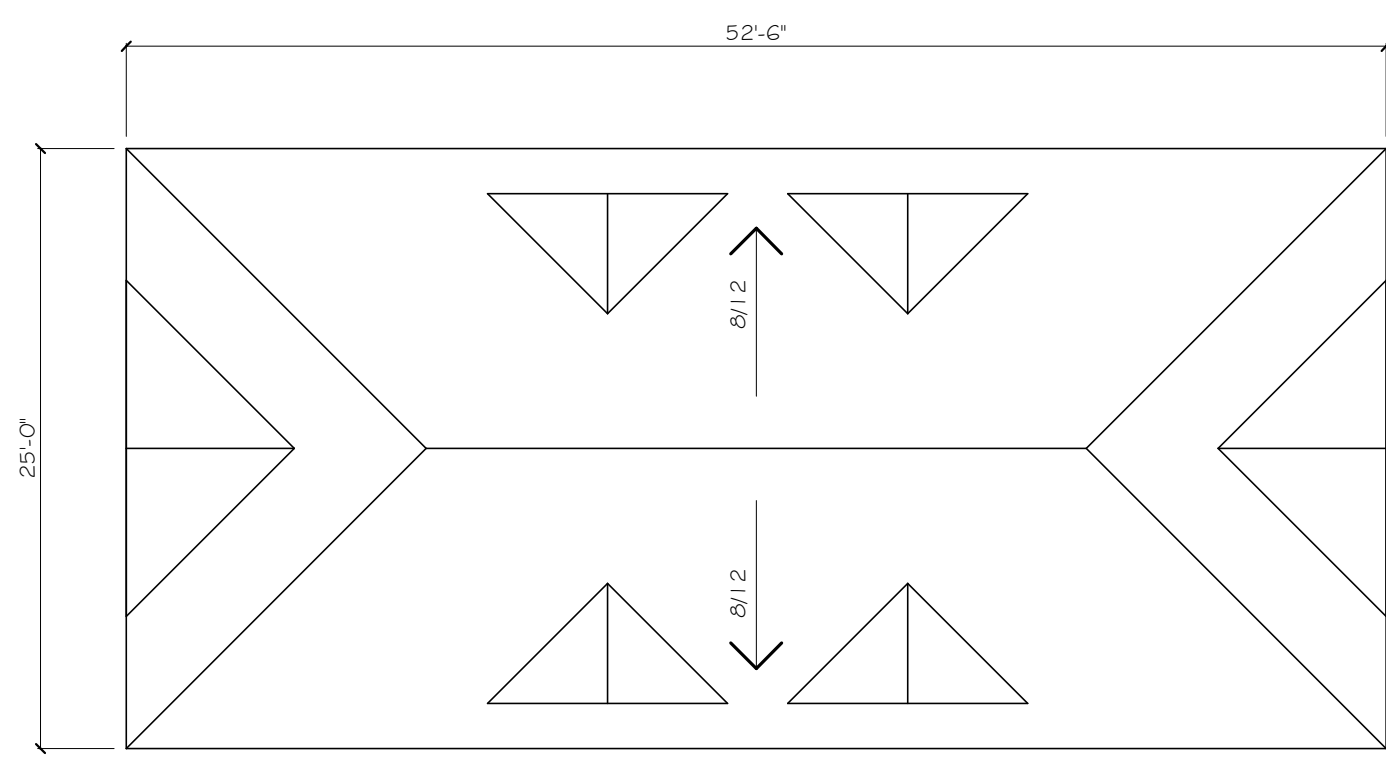
**WESTWOOD VILLAGE  
 APARTMENTS I & II**  
 ROOF REPLACEMENT

ST. CLOUD, MN

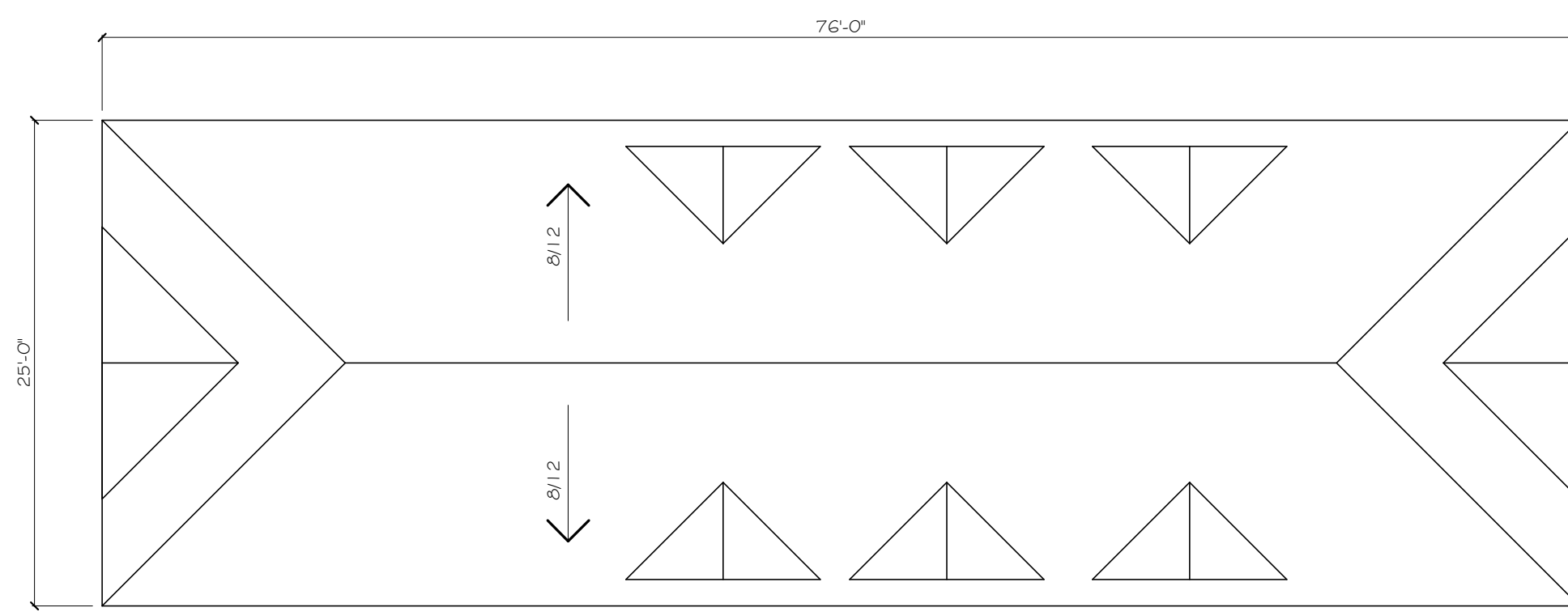
DATE	23 FEBRUARY 2023
PROJECT	2233



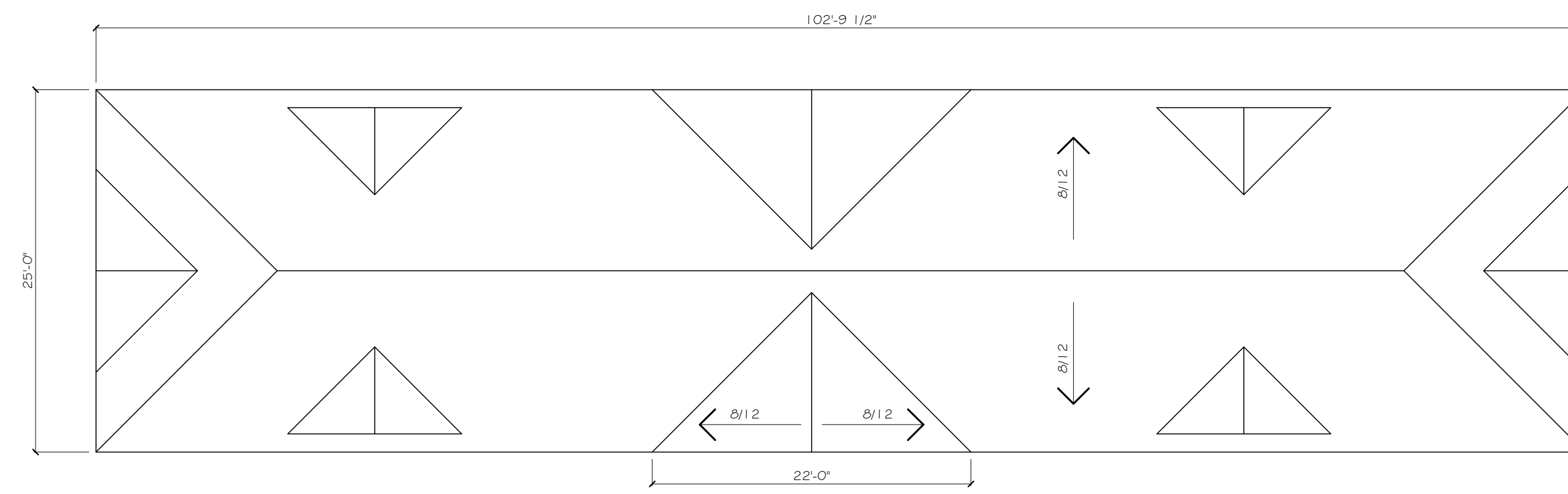
**A2.2**



GARAGE: I-A (QUANTITY 1)

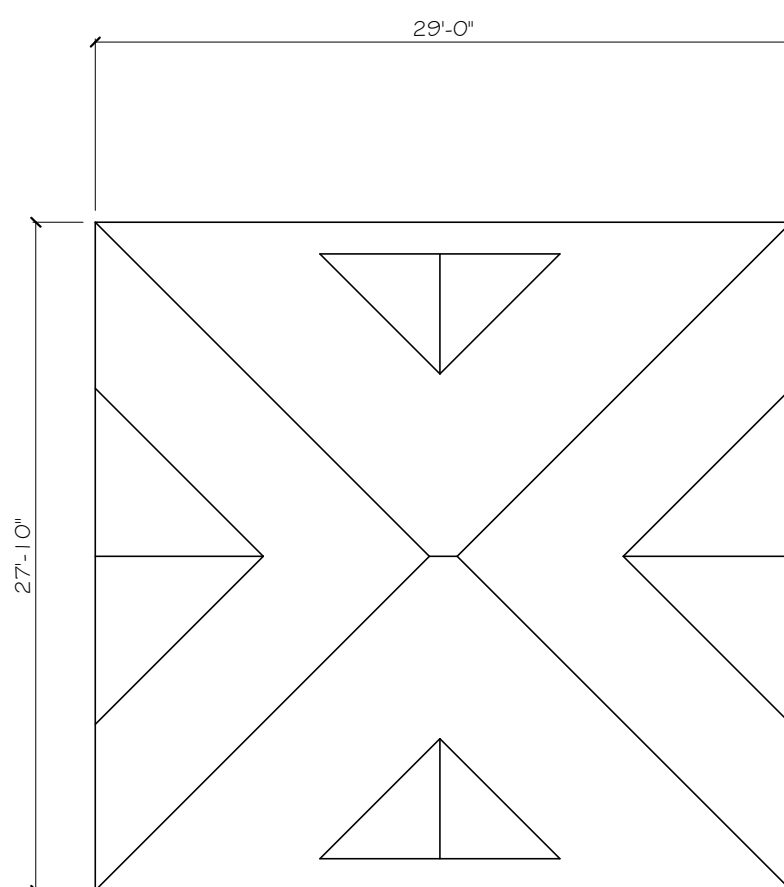


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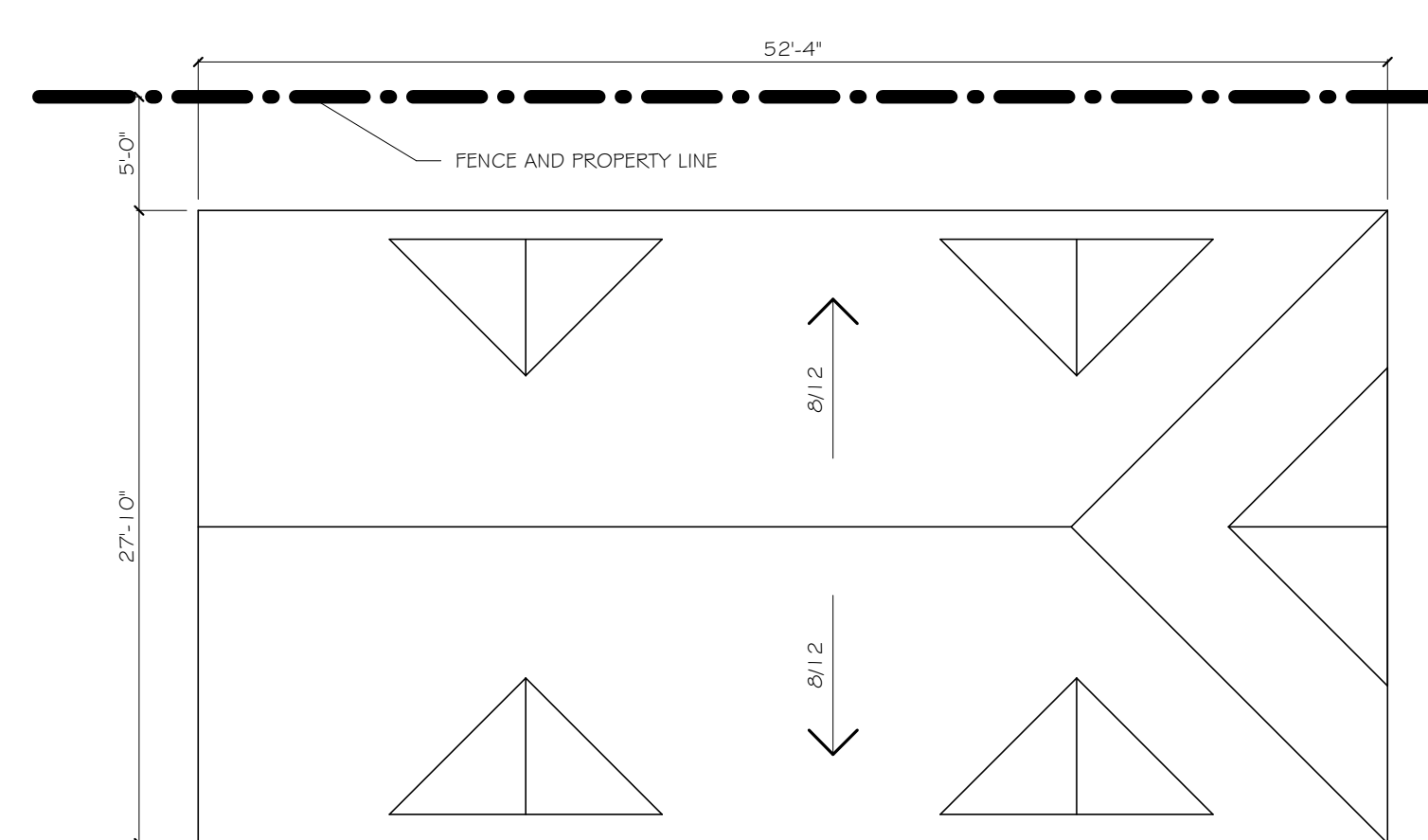


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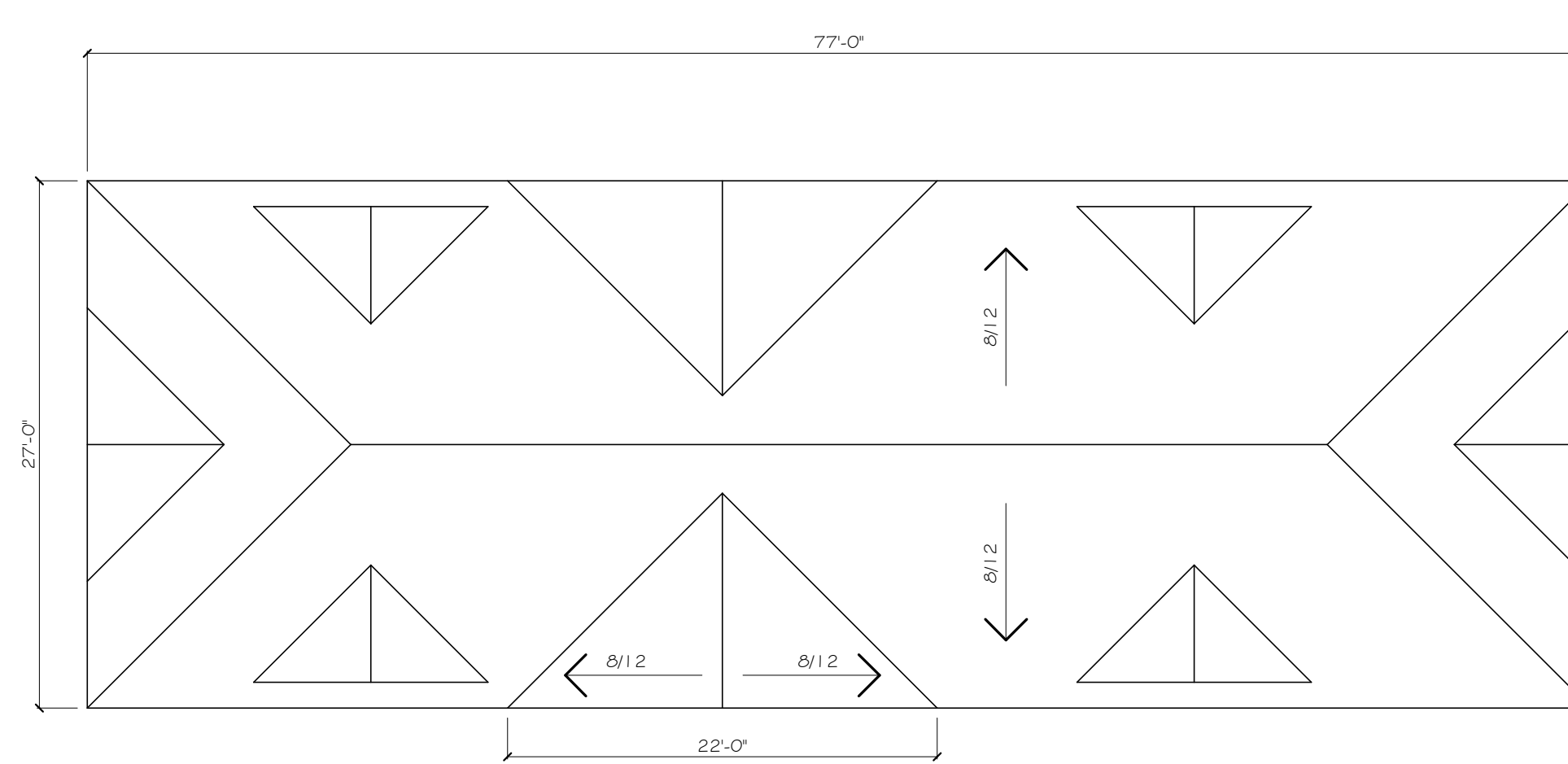
Level 2 Existing WESTWOOD VILLAGE I  
GARAGES  
1/8" = 1'-0"



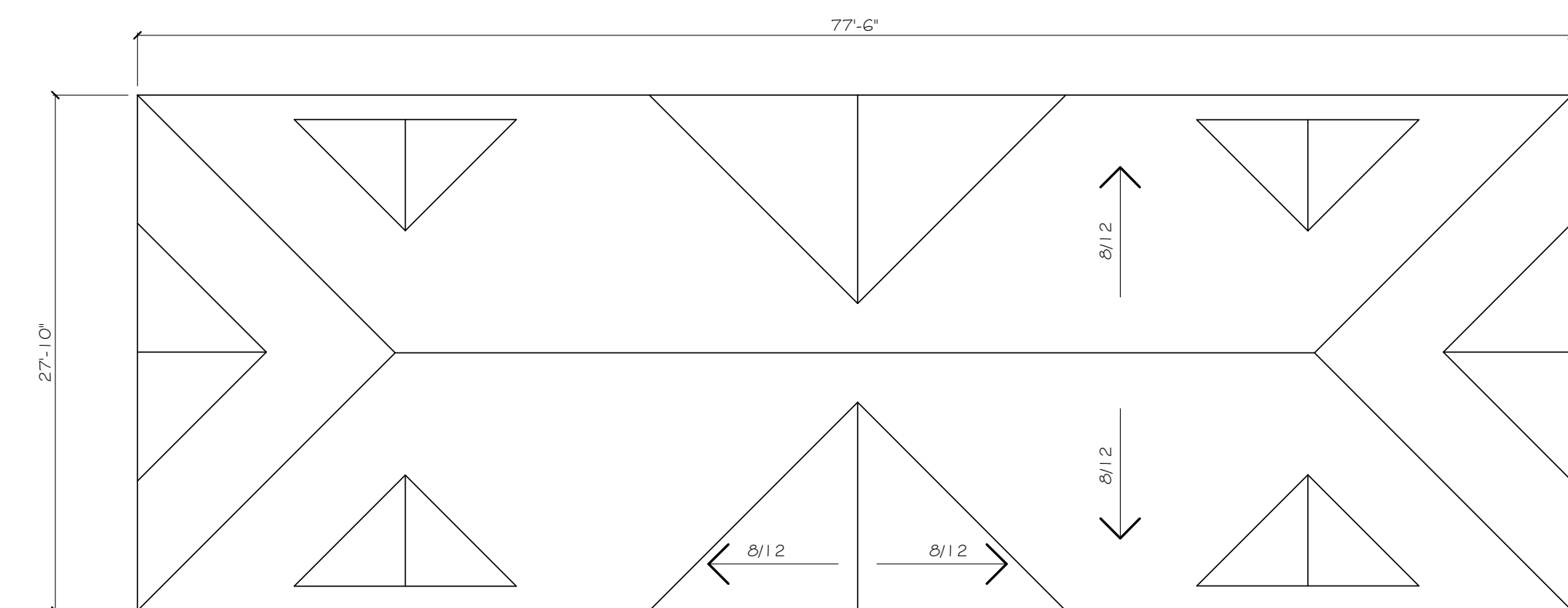
GARAGE: II-A (QUANTITY 1)



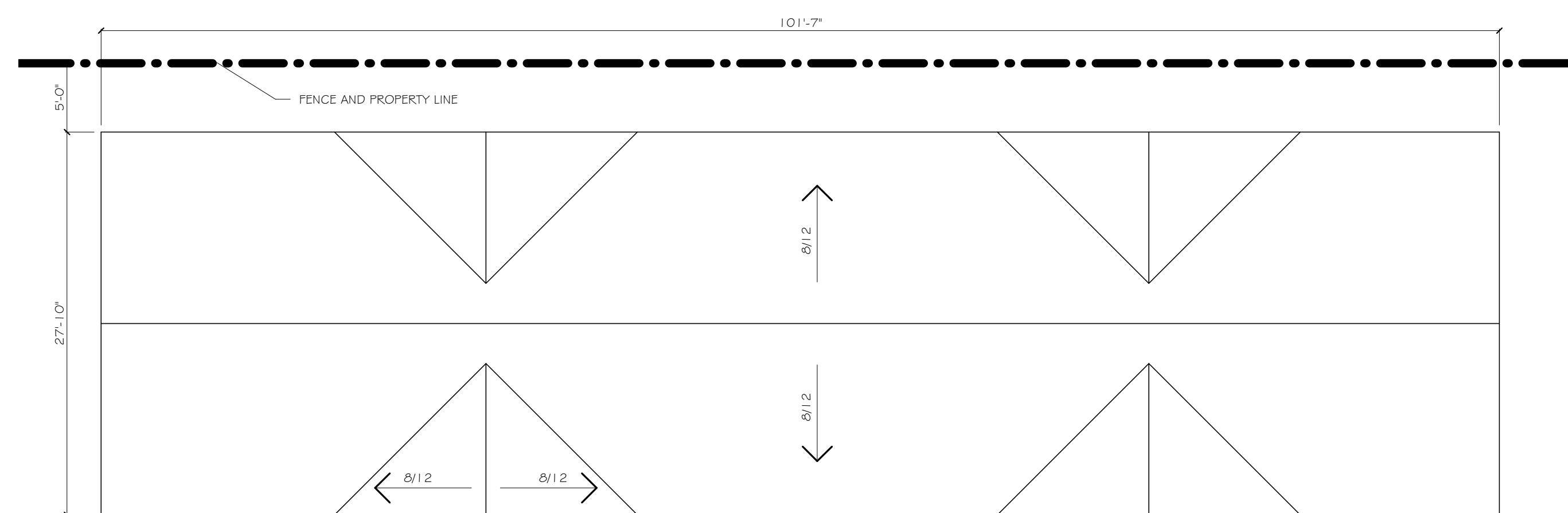
GARAGE: II-B (QUANTITY 1)



GARAGE: II-C (QUANTITY 1)



GARAGE: II-D (QUANTITY 1)



GARAGE: II-E (QUANTITY 2)

ROOF PLANS - WESTWOOD VILLAGE II  
GARAGES  
1/8" = 1'-0"

- GENERAL ROOF PLAN NOTES**
- A. REMOVE EXISTING SHINGLES AND ROOFING FELT.
  - B. PROVIDE NEW ICE AND WATER SHIELD, ROOFING FELT AND SHINGLES.
  - C. ALTERNATE #1 TO PROVIDE METAL ROOF IN LIEU OF ASPHALT SHINGLES.



- TWO BUILDING SIGNS**
- A. REMOVE AND REPLACE SHINGLES ON TWO EXISTING SIGNS, APPROXIMATELY 3'-0" x 6'-0".

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**WESTWOOD VILLAGE APARTMENTS I & II**

**ROOF REPLACEMENT**

ST. CLOUD, MN

DATE	23 FEBRUARY 2023
PROJECT	2233

**A2.3**