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ADS
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ADVANCED DESIGN SOLUTIONS
ARCHITECTURAL DRAFTING & DESIGNS

SAUK RAPIDS, MN
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National
Association
of Home
Builders

New Home Designs for:
built for:
418 Wilson Ave
St Cloud, MN

REV	DATE	DESCRIPTION

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SQ FT:
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PLAN DATE: 10-08-21

SHEET TITLE:
COVER SHEET

A-000
SHEET 1 OF 6



Gross Floor Area	
Lower Level	1235 Sq Ft
Main Level	1235 Sq Ft
Garage	440 Sq Ft
Covered Porch	90 Sq Ft
Total Square Footage:	3000 Sq Ft
Lot Area:	#Site Gross Area
Allowable Coverage for structures (XX% of Lot Area or x,xxx SF, whichever is greater):	
Total Square Footage:	Sq Ft
Above Grade Square Footage:	SF
FAR:	
Total Lot Coverage: x,xxx/#Site Gross Area = XX.X% Coverage	



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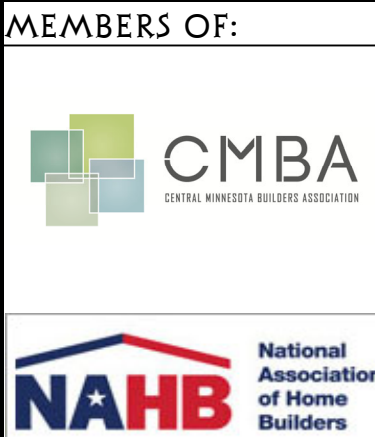
SHEET TITLE:

GENERAL NOTES

A-001

SHEET 2 OF 6

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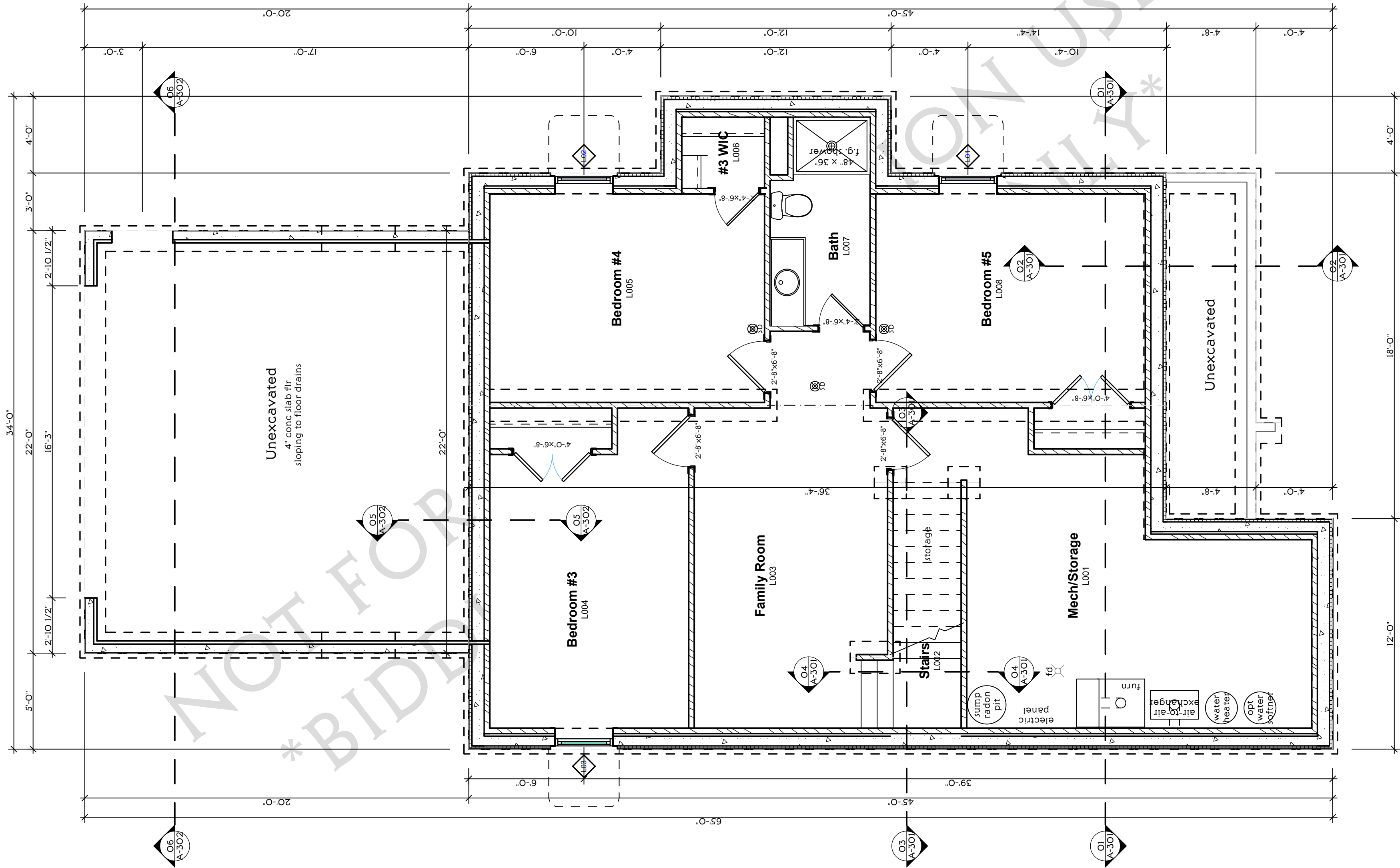
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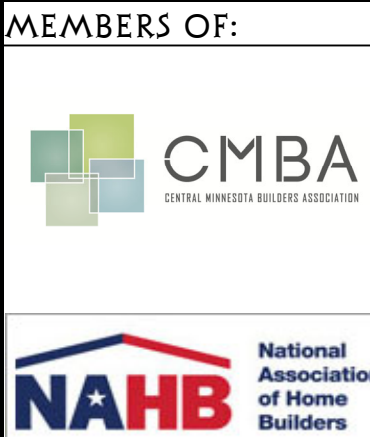
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SHEET TITLE:
LOWER LEVEL PLAN

A-102



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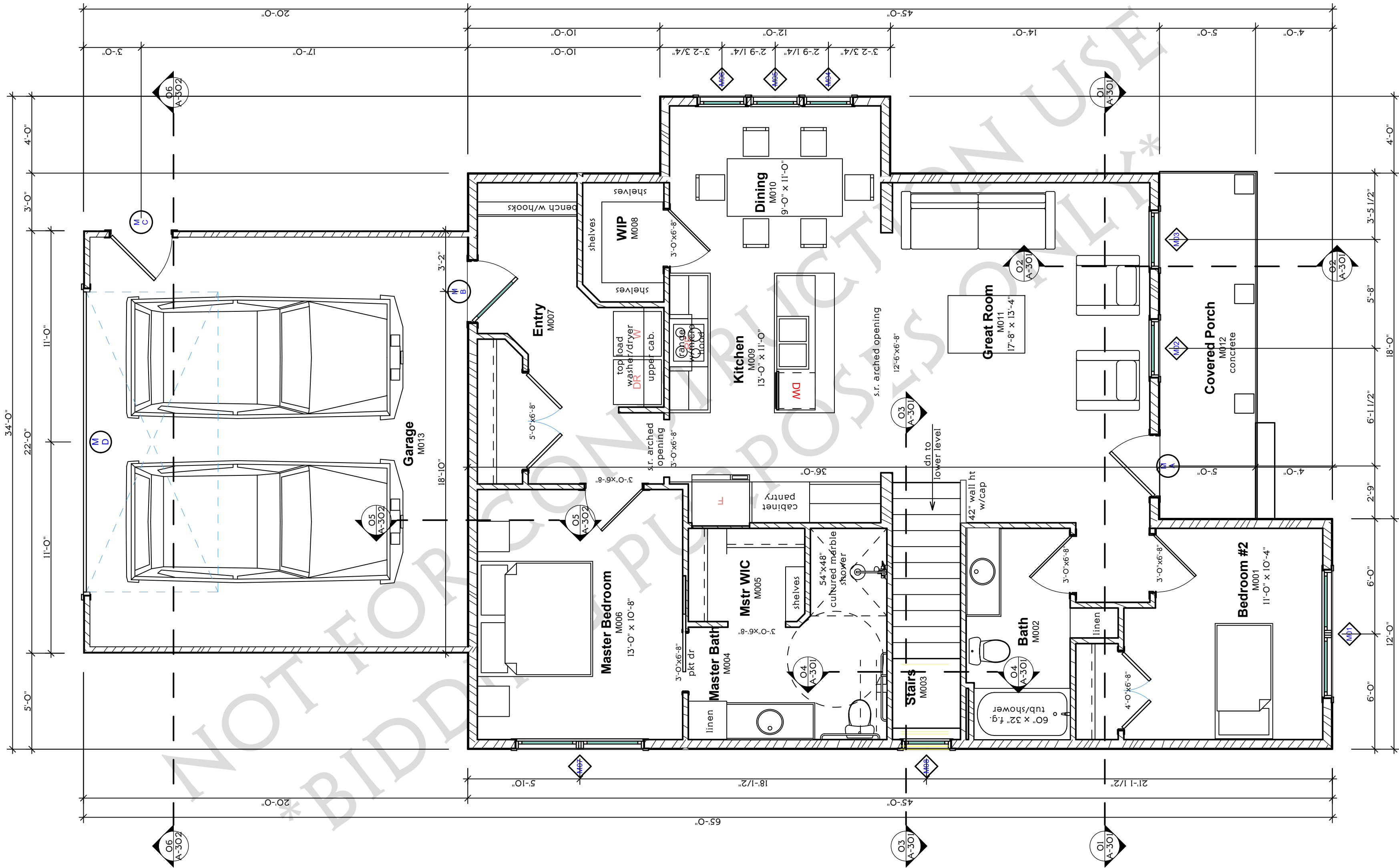


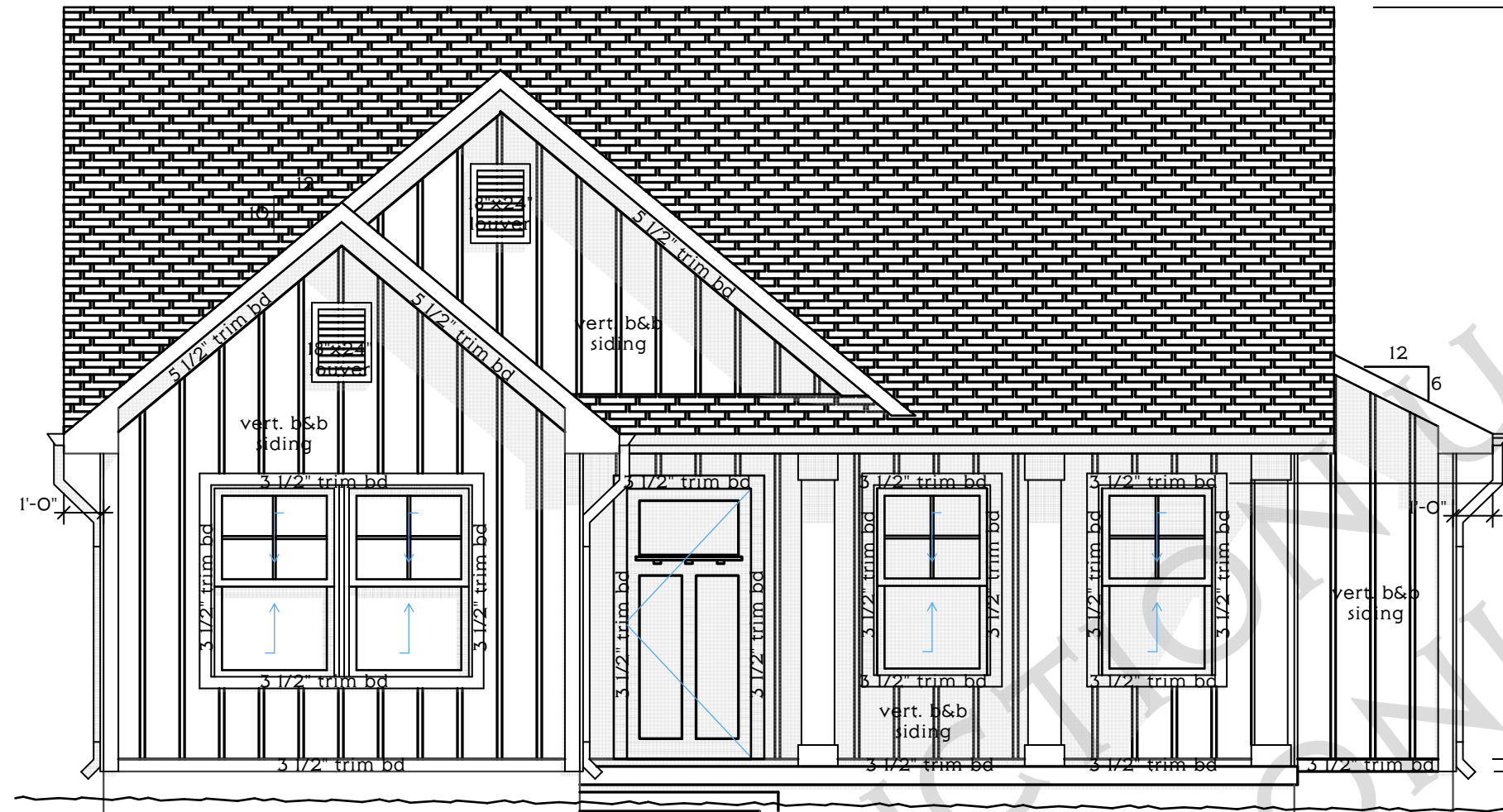
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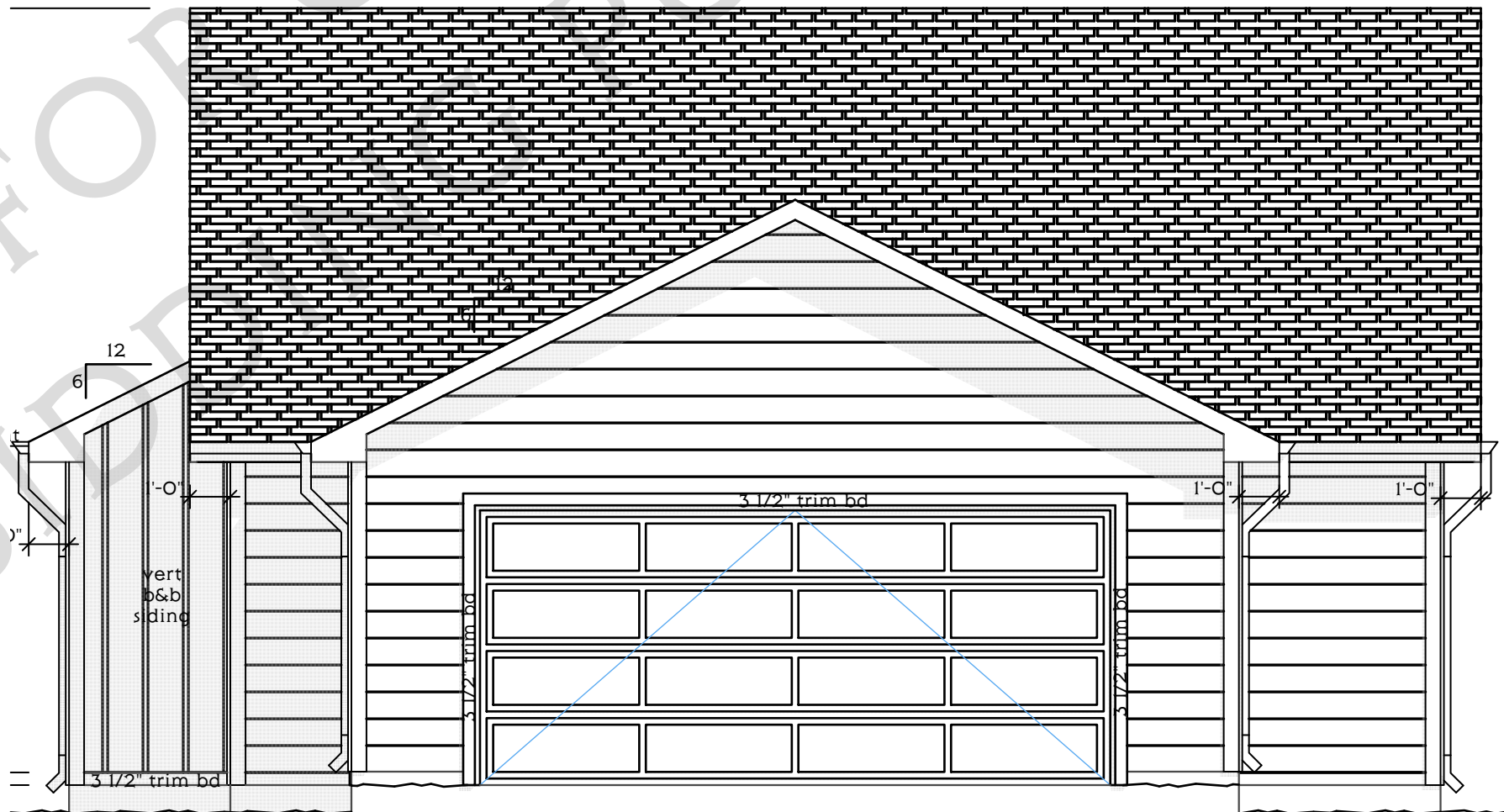
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MAIN LEVEL PLAN





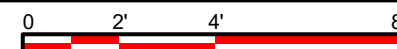
West Elevation

SCALE: 1/4" = 1'-0"



East Elevation

SCALE: 1/4" = 1'-0"



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SHEET TITLE:
EAST/WEST ELEVATION

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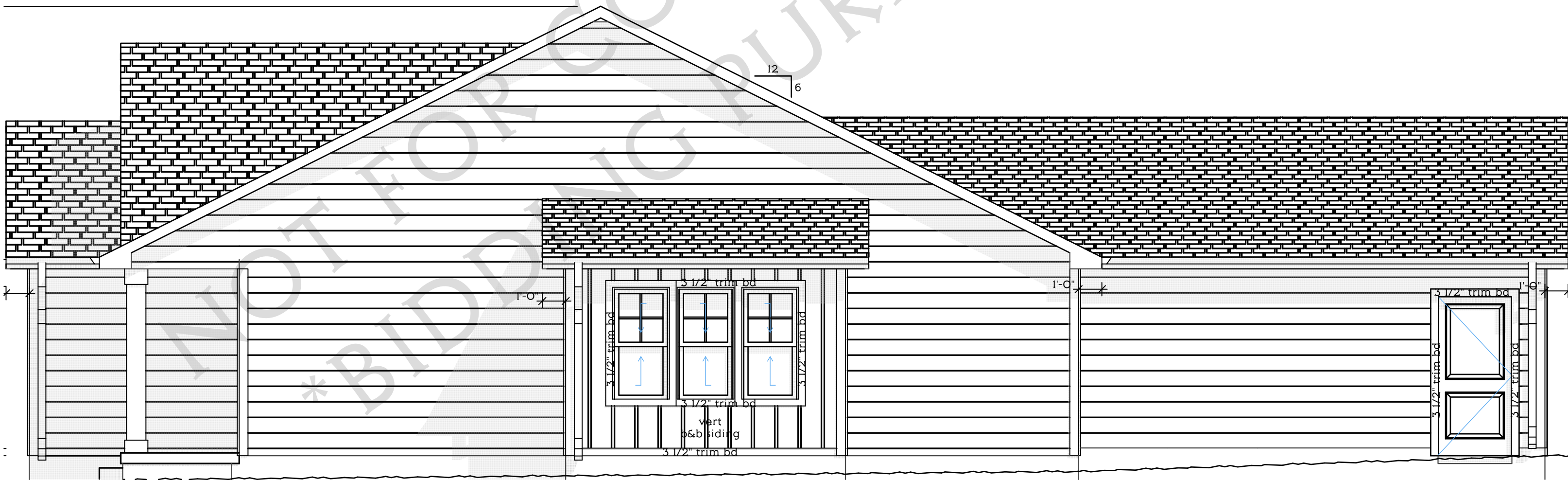
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SHEET TITLE:
NORTH/SOUTH ELEVATION



North Elevation

SCALE: 1/4" = 1'-0"



South Elevation

SCALE: 1/4" = 1'-0"



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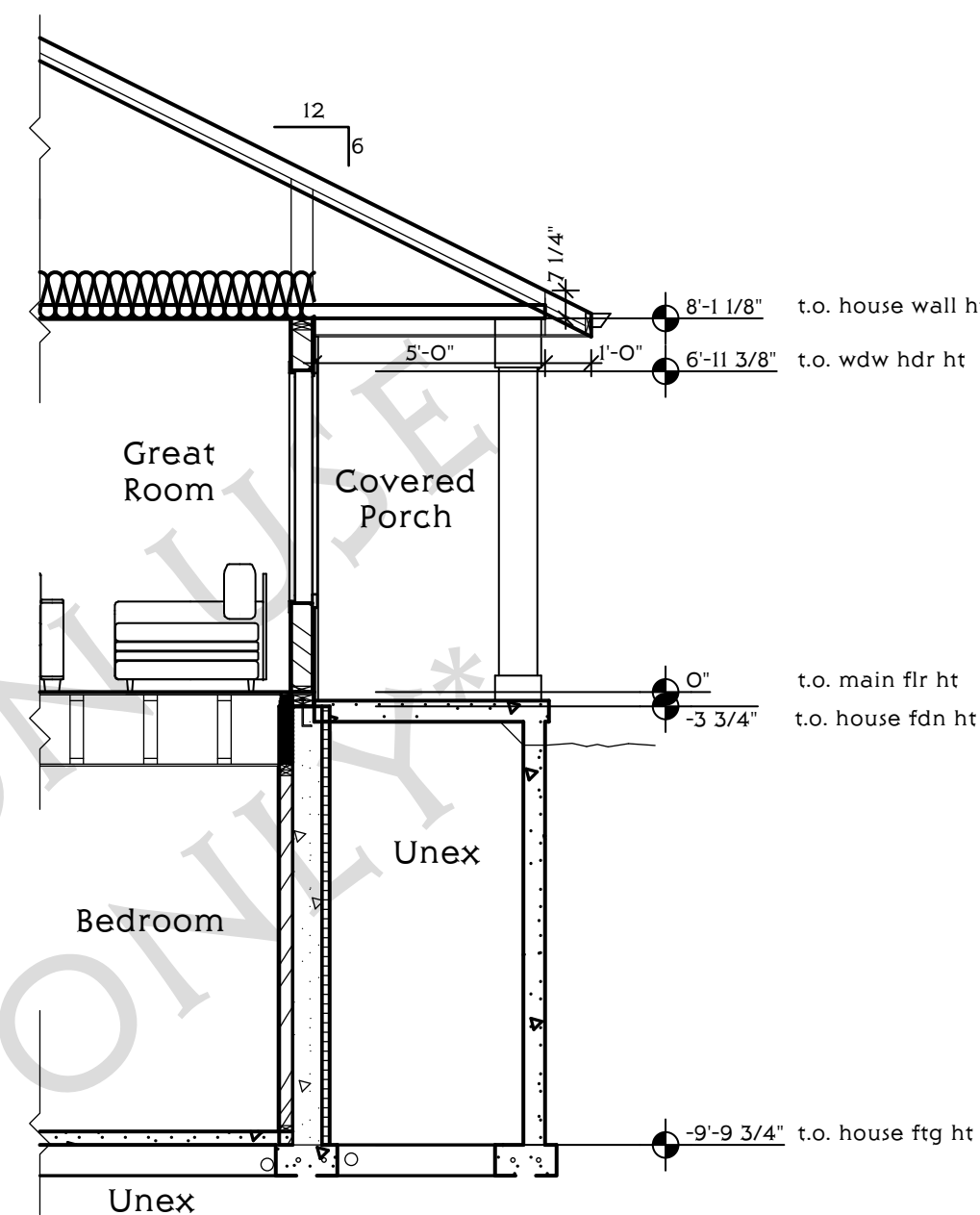
SECTIONS

A-301

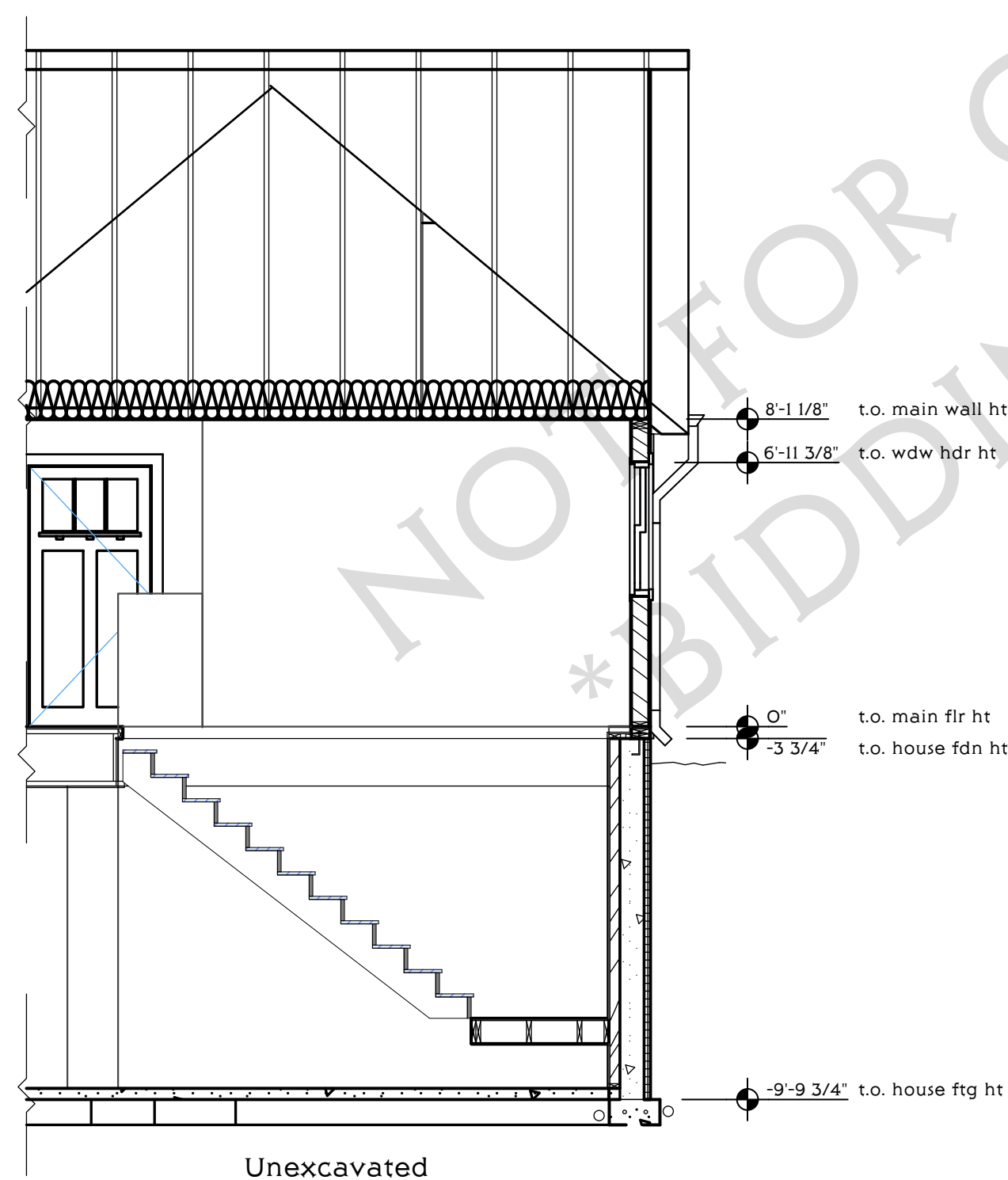
SHEET 8 OF 6



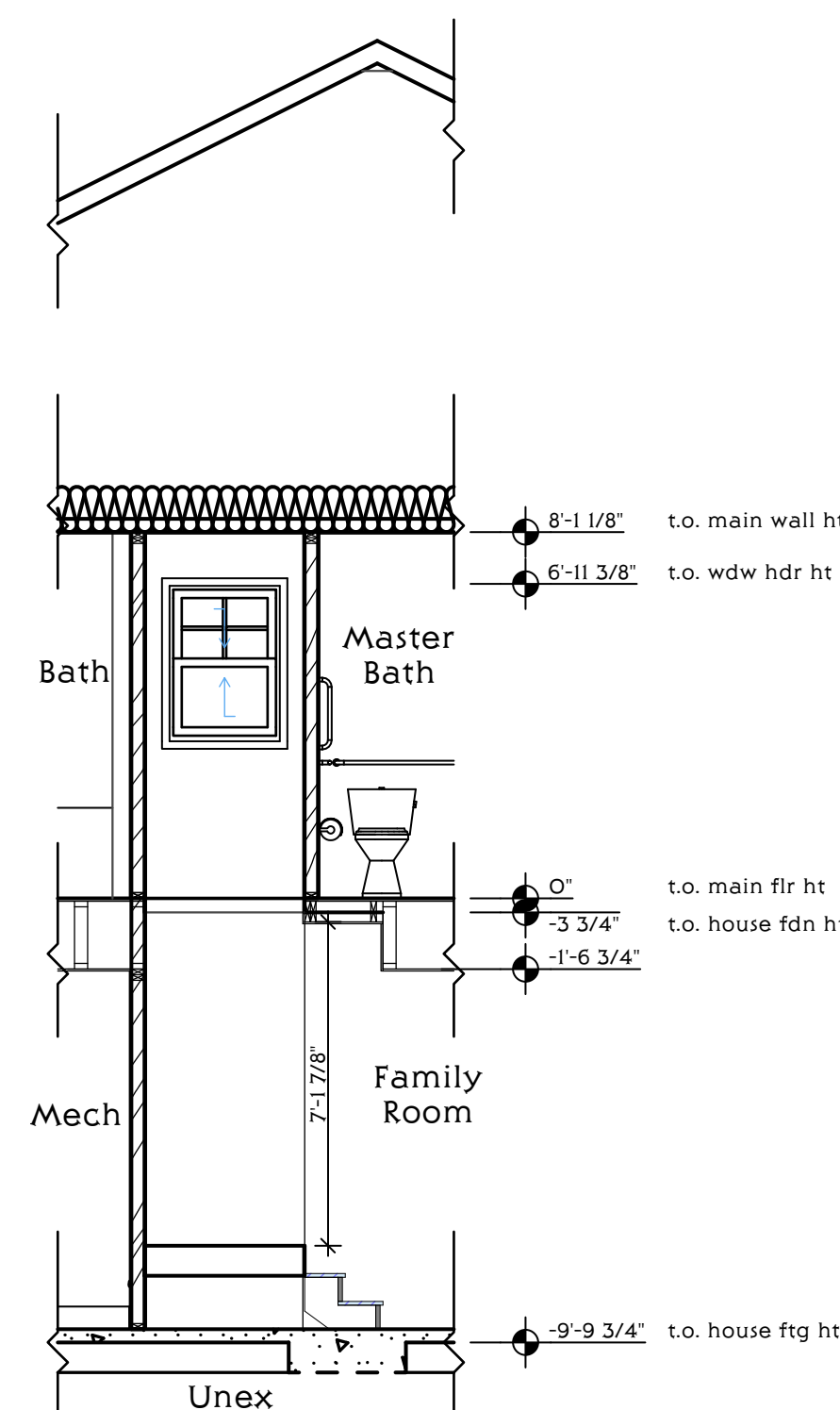
01 SECTION
SCALE: 1/4" = 1'-0" 0 2' 4' 8"



02 SECTION
SCALE: 1/4" = 1'-0" 0 2' 4' 8"



03 SECTION
SCALE: 1/4" = 1'-0" 0 2' 4' 8"



04 SECTION
SCALE: 1/4" = 1'-0" 0 2' 4' 8"

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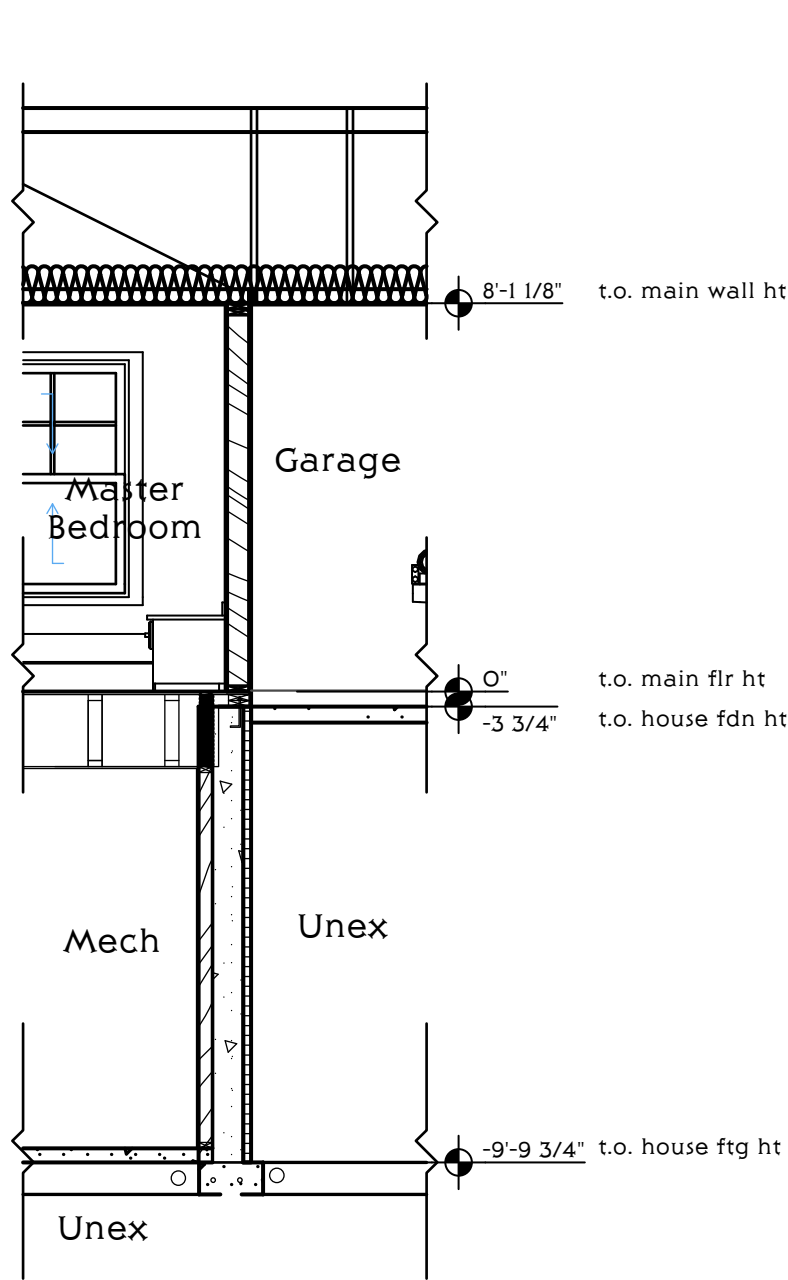
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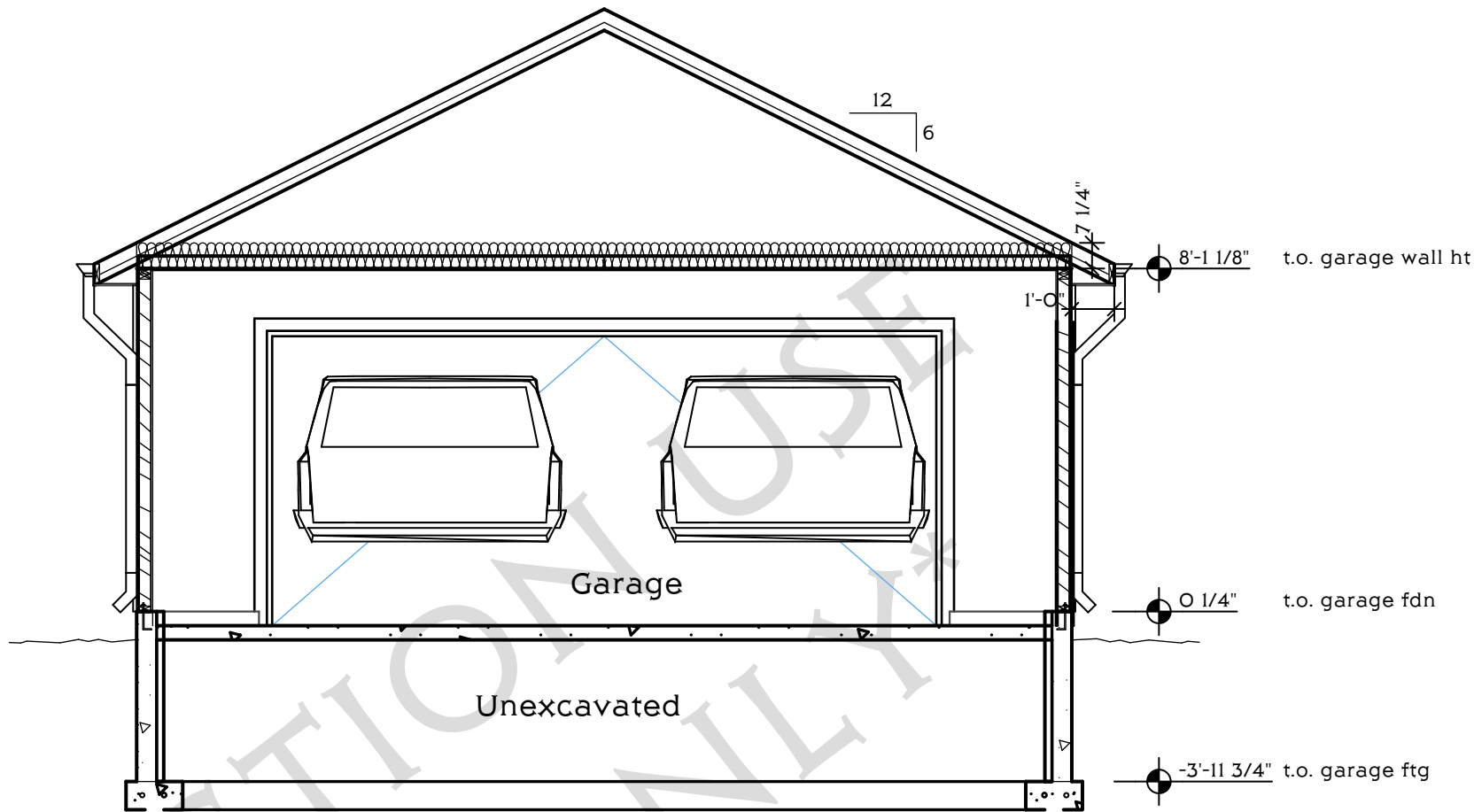
PLAN DATE: 10-08-21

SHEET TITLE:

SECTIONS



05 SECTION
SCALE: 1/4" = 1'-0" 0 2' 4' 8'



06 SECTION
SCALE: 1/4" = 1'-0" 0 2' 4' 8'

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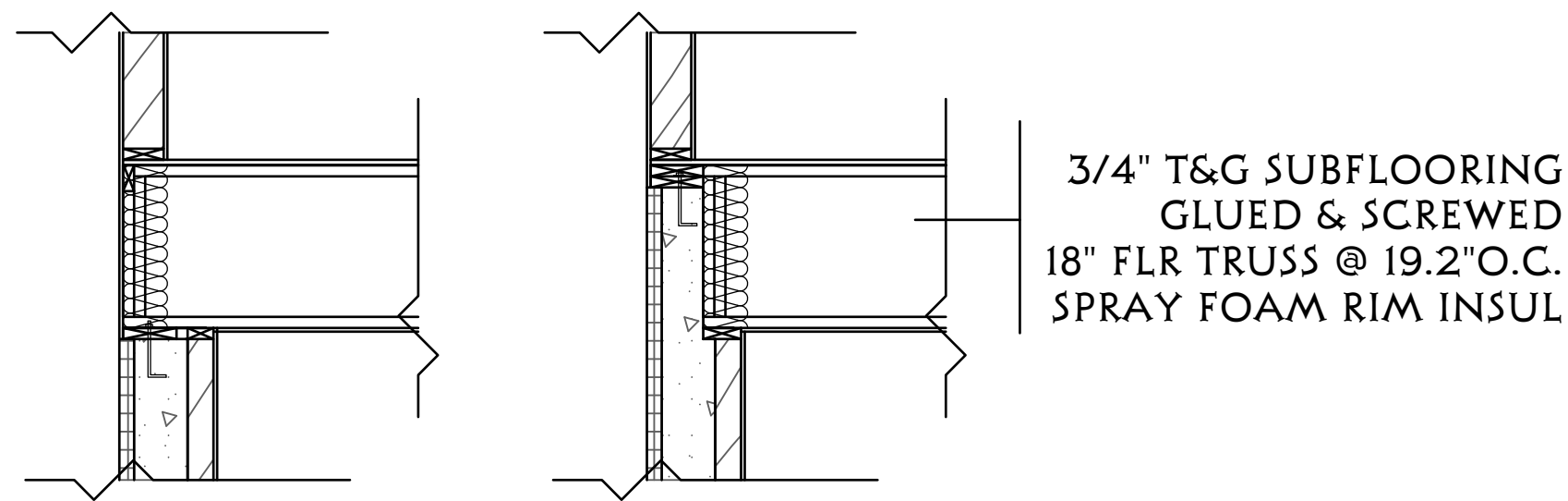
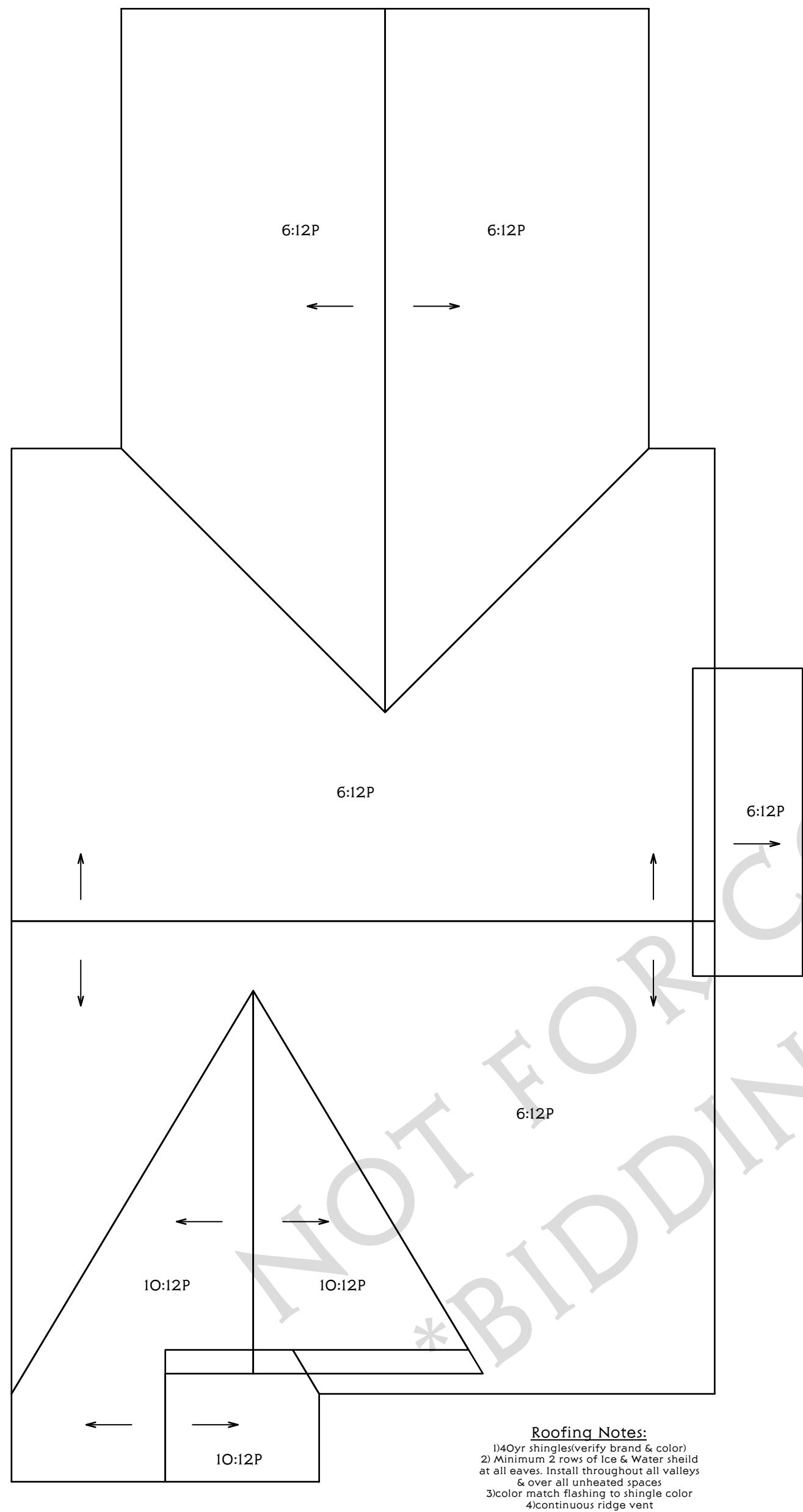
 **NAHB**
National Association of Home Builders

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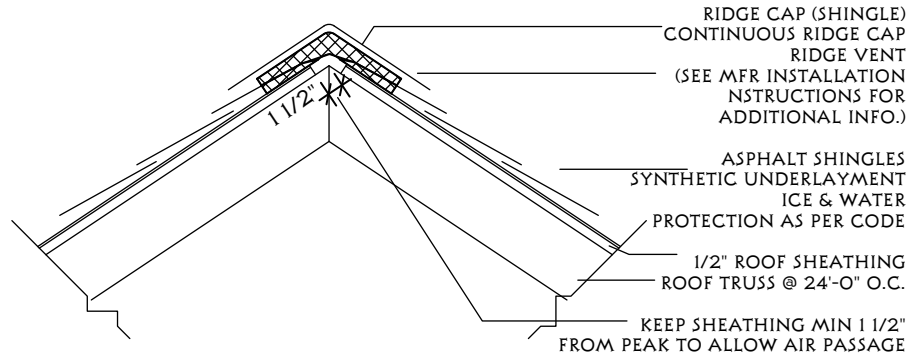
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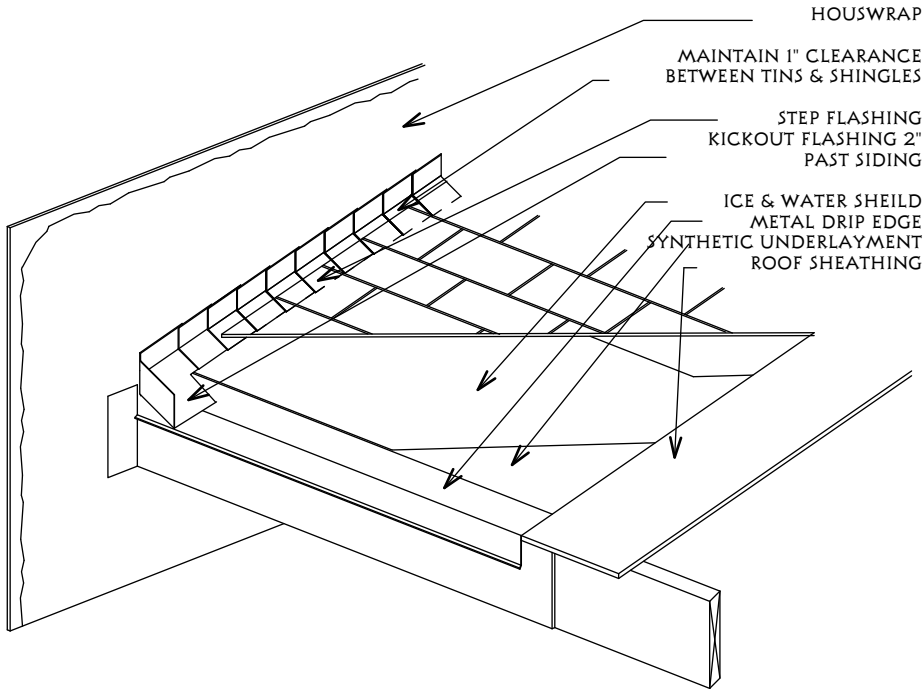
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DETAILS



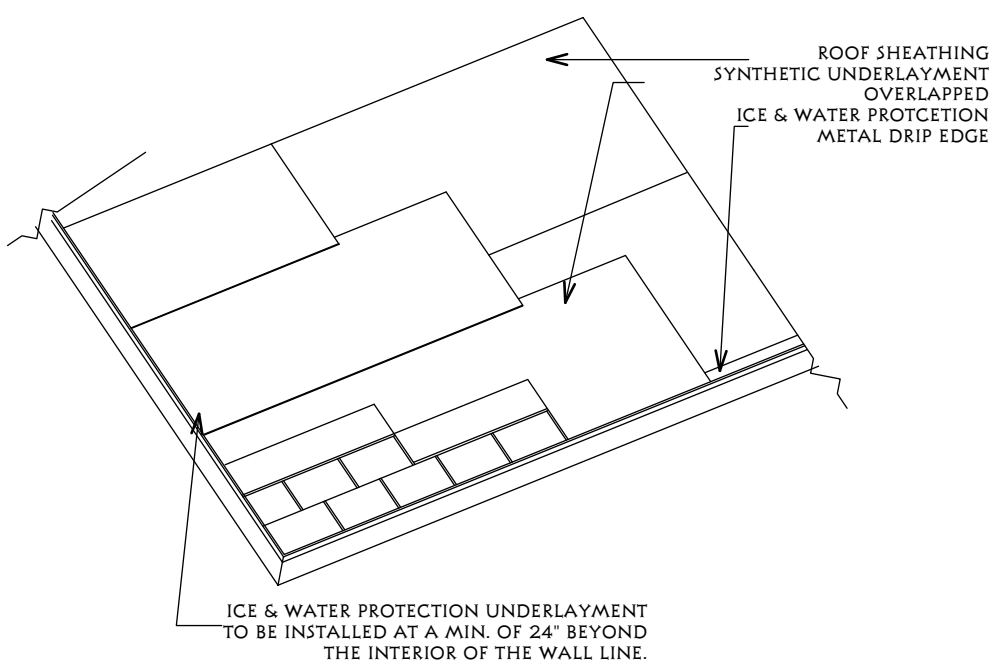
CONTINUOUS RIDGE CAP



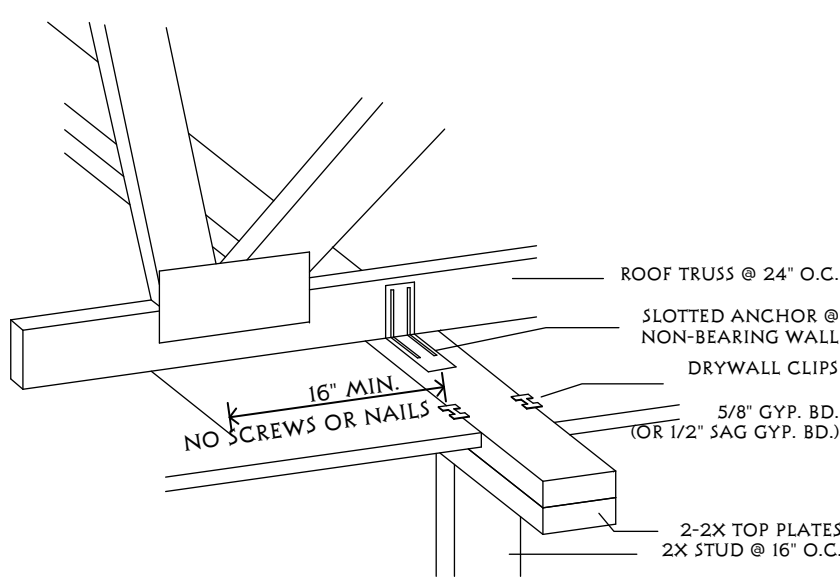
KICKOUT FLASHING DETAIL



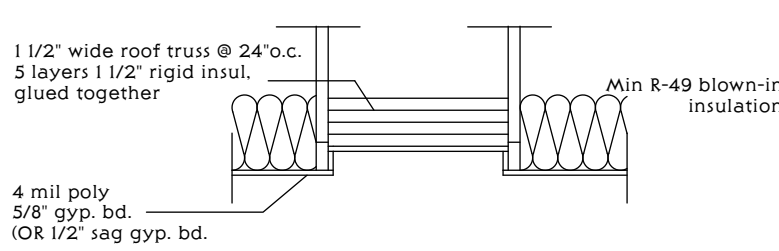
ICE & WATER SHIELD DETAIL



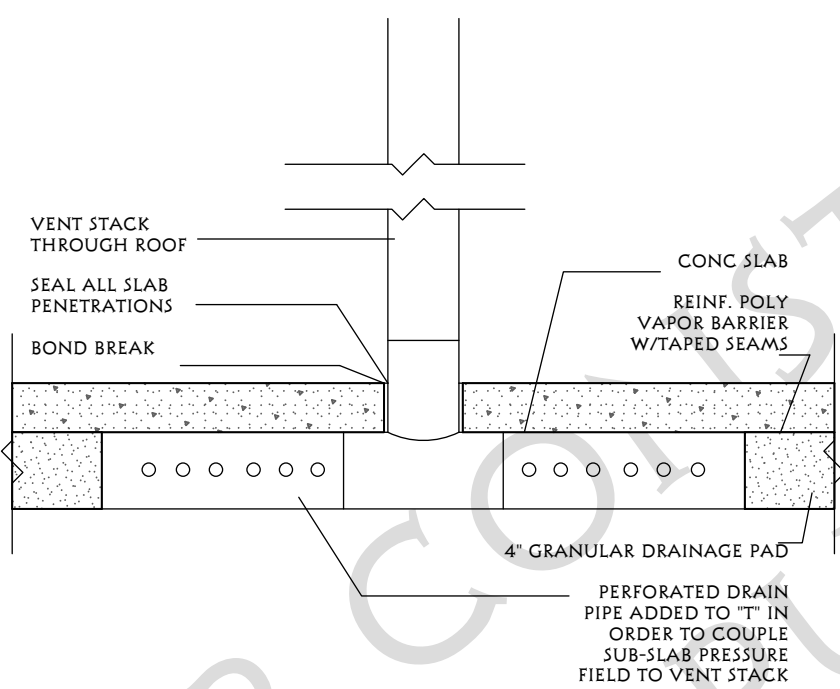
NON-BEARING WALL CONNECTION



ATTIC ACCESS HATCH



SOIL GAS VENTILATION DETAIL



CONSTRUCTION NOTES:

- Plans are designed in accordance to 2020 Minnesota Residential Code
- See MN Rules, Chapter 1300-1303-1309 for code references
- See MN Statutes 326b for all licensing info
- Certificate of Occupancy must be obtained prior to occupying
- Approval of construction documents are required

GENERAL NOTES:

- windows are called out MARVIN ESSENTIAL CASEMENTS, DOUBLE HUNGs, & PICTURE UNITS
- flash the head & sides of all window & door openings
- pan flashing on the sills of all windows & doors
- sill sealer to be installed under trtd sill plate
- sealed, continuous air & vapor barrier to be installed on warm side of exterior walls, with all joints, openings, & penetrations sealed in a permanent manner.
- unsupported sheathing joints to be sealed on exterior of joints
- air barrier on exterior of home to be with j-blocks or solid wood block for all penetrations
- attic access to be sealed with spray texture or caulked
- 90%+ sealed combustion furnace
- air-to-air exchanger and/or exhaust fan required in all bathrooms
- air-to-air exchanger required per energy code
- direct vent gas water heater or boiler
- max. 300 cfm on any one appliance
- attic ventilation is required if garage attic is enclosed
- must provide attic depth markers by all attic access points
- Smoke detectors required at a min. of 1 per level of structure and inside & outside of each sleeping room. Must be interconnected and have battery back-up.
- Carbon monoxide detectors must be installed within 10'-0" from any sleeping rooms
- dwelling to garage fire separation is required, protect ceiling as required
- fire rated dr between garage & dwelling
- fire blocking along & behind foundation framing walls
- interior foundation framed walls, if installed, shall not be in direct contact with foundation wall
- embed anchor bolt or metal l-clip into foundation, placement as per code
- all poly to be taped & caulked @ all seams
- air barrier & vapor barrier required on all exterior walls
- all gable ends with metal or vinyl shakes must have osb or plywood wall sheathing
- 30" min width req'd around toilets
- window hdr ht. @ 6'-11 3/8" (unless spec'd otherwise)
- add bliking around window headers for window treatment application
- add bliking in all bathrooms for future grab bars as per code
- all stairways are required to be illuminated
- mn. 6" from top of foundation to final grade
- lot surface shall be graded to provide a min. 6" fall in the first 10' to drain surface water away from foundation
- drains shall be provided around all concrete or masonry foundations that retain earth & enclose habitable or usable spaces located below grade
- landings shall be provided at every exterior door

ATTACHED DECK NOTES:

- deck shall be positively anchored to primary structure handling & installation of i-jst mat (if appl.)
- guard openings shall be no more than 4" in clear opening
- guards are required at open sides of decks where the deck platform is 30" or more above finish grade
- guards shall be a minimum 36" above platform or finish grade
- protection of wood & wood based products against decay

DESIGN LOAD CRITERIA:

OCCUPANCY:

IRC-1 single family home

CONSTRUCTION:

type 5 Wood-Framed

SOIL CONDITION:

assumed soil bearing capacity: 2000 PSF (verify soils on site)

CONCRETE MIXTURE:
concrete footings will require use of 5000psi concrete, footings w/2500psi concrete is approved w/an admixture)

INTERIOR PARTITIONS:

horizontal loads: 10# psf

FLOOR SYSTEM:

loading: 40-15-7 psf (add for granite & cultured stone/brick)

ROOF SYSTEM:

Roof Snow Load <0.7" loading: 35-10-10 psf

WIND LOAD & EXPOSURE CONDITION:

- plans designed for climate Zone 6 or 7
- plans designed to meet 90mph rated winds
- plans designed for Exposure "A"

SOUND PROOFING:

provided sound insulation in all walls between bathrooms and other surrounding rooms

JOIST/TRUSS INFO:

- provide signed & certified truss design drawings in site
- refer to manufacturer info. on proper handling & installation of i-jst mat (if appl.)
- refer to truss manufacturer info. for proper handling & installation of trusses
- first 2 flr jst/trusses to be tied together @ anchor bolts w/blocking
- provide blocking in the 1st 3 joist/truss spaces where joists/trusses are parallel to the foundation
- connect joists/truss blocking to foundation sill plate
- add blocking between joists/trusses @ bearing wall locations
- joists that lap at bearing walls shall be a min. of 3" lap
- permanete wind-brace gable ends & roof system as per TPI Requirements
- all headers & beams to be verified & are subject to change per truss manufacturers layouts
- solid bearing req'd @ all beams & headers

FIRE PROTECTION ON FLOORS:

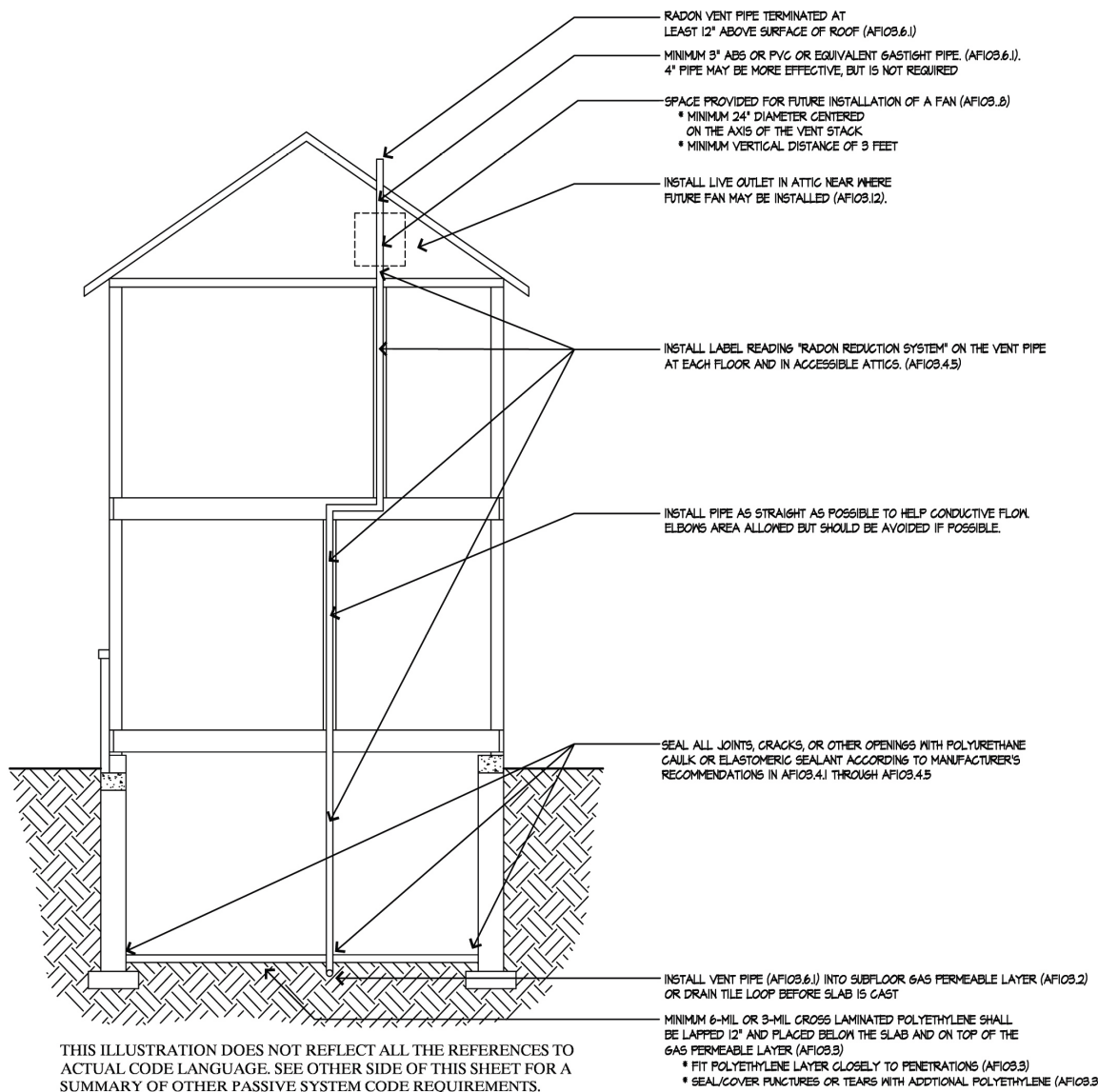
- draftstop/firestop blocking required in floors that exceed 1000 sq ft
- 1/2" GYP. BD. is required on the underside of floor assemblies on areas of 80sq ft or more, firestop blocking is required around perimeter of this area.
- fire-block the floor & ceiling at any penetrations

WINDOW FALL PROTECTION:

- Windows where the lowest part of the opening is more than 72" from grade level or floor surface level of 36" and higher do not require additional hardware.
- Window openings lower than 36" from floor level are required to provide fall protection hardware

#20 Passive (Code Minimum) Radon System

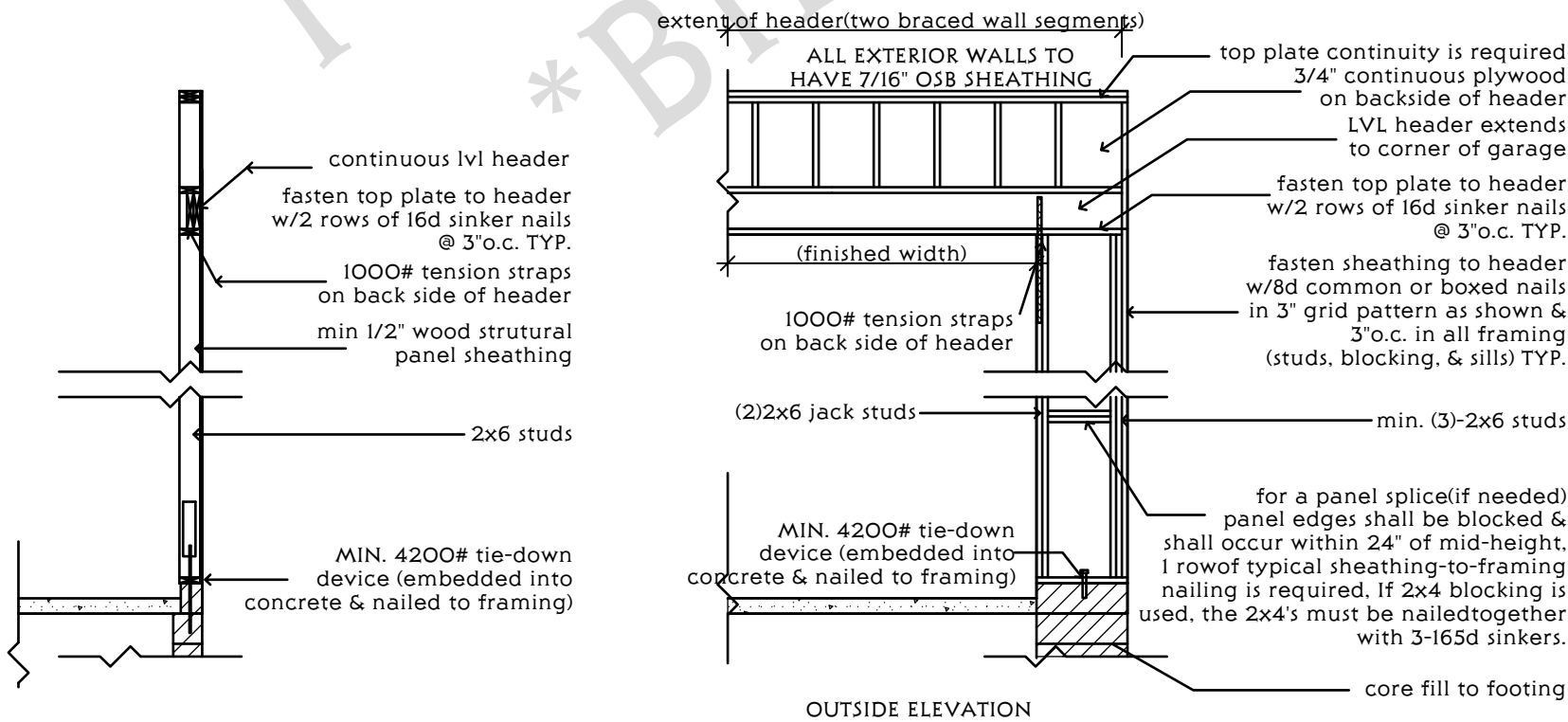
- APPLIES TO BASEMENTS, CONDITIONED CRAWLSPACES, SLAB-ON-GRADE BUILDINGS AND OTHER FOUNDATIONS UNDER CONDITIONED SPACE
- MINIMUM CODE REQUIREMENTS ARE LISTED. OTHER SYSTEM COMPONENTS ARE SUGGESTIONS FOR BEST PRACTICE INSTALLATIONS BASED ON MINNESOTA DEPARTMENT OF HEALTH RECOMMENDATIONS.



THIS ILLUSTRATION DOES NOT REFLECT ALL THE REFERENCES TO ACTUAL CODE LANGUAGE. SEE OTHER SIDE OF THIS SHEET FOR A SUMMARY OF OTHER PASSIVE SYSTEM CODE REQUIREMENTS.

FOR PRECISE REQUIREMENTS AND OPTIONS OF SPECIFIC CODE SECTIONS CHECK THE ORIGINAL CODE LANGUAGE AT www.bam.org/energycode

GN GENERAL NOTES



NARROW WALL DETAIL

SCALE: 1/4" = 1'-0"



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SHEET TITLE:

CODE NOTES

A-402

SHEET 12

OF 6

TABLE R602.3(1) FASTENER SCHEDULE FOR STRUCTURAL MEMBERS			
ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER ^{a,c,e}	SPACING OF FASTENERS
Roof			
1	Blocking between joists or rafters to top plate, toe nail	3-8d (2½" × 0.113")	—
2	Ceiling joists to plate, toe nail	3-8d (2½" × 0.113")	—
3	Ceiling joists not attached to parallel rafter, laps over partitions, face nail	3-10d	—
4	Collar tie to rafter, face nail or 1½" × 20 gage ridge strap	3-10d (3" × 0.128")	—
5	Rafter or roof truss to plate, toe nail	3-16d box nails (3½" × 0.135") or 3-10d common nails (3" × 0.148")	2 toe nails on one side and 1 toe nail on opposite side of each rafter or truss
6	Roof rafters to ridge, valley or hip rafters: toe nail face nail	4-16d (3½" × 0.135") 3-16d (3½" × 0.135")	—
Wall			
7	Built-up studs: face nail	10d (3" × 0.128")	24" o.c.
8	Abutting studs at intersecting wall corners, face nail	16d (3½" × 0.135")	12" o.c.
9	Built-up header, two pieces with ½" spacer	16d (3½" × 0.135")	16" o.c. along each edge
10	Continued header, two pieces	16d (3½" × 0.135")	16" o.c. along each edge
11	Continuous header to stud, toe nail	4-8d (2½" × 0.113")	—
12	Double studs, face nail	10d (3" × 0.128")	24" o.c.
13	Double top plates, face nail	10d (3" × 0.128")	24" o.c.
14	Double top plates, minimum 24-inch offset of end joints, face nail in lapped area	8-16d (3½" × 0.135")	—
15	Sole plate to joist or blocking, face nail	16d (3½" × 0.135")	16" o.c.
16	Sole plate to joist or blocking at braced wall panels	3-16d (3½" × 0.135") 3-8d (2½" × 0.113")	16" o.c. —
17	Stud to sole plate, toe nail	or 2-16d (3½" × 0.135")	—
18	Top or sole plate to stud, end nail	2-16d (3½" × 0.135")	—
19	Top plates, laps at corners and intersections, face nail	2-10d (3" × 0.128")	—
20	1" brace to each stud and plate, face nail	2-8d (2½" × 0.113")	—
21	1" × 6" sheathing to each bearing, face nail	2 staples 1½" 2-8d (2½" × 0.113")	—
22	1" × 8" sheathing to each bearing, face nail	3 staples 1½"	—
23	Wider than 1" × 8" sheathing to each bearing, face nail	3-8d (2½" × 0.113") 4 staples 1½"	—
Floor			
24	Joist to sill or girder, toe nail	3-8d (2½" × 0.113")	—
25	Rim joist to top plate, toe nail (roof applications also)	8d (2½" × 0.113")	6" o.c.
26	Rim joist or blocking to sill plate, toe nail	8d (2½" × 0.113")	6" o.c.
27	1" × 6" subfloor or less to each joist, face nail	2-8d (2½" × 0.113") 2 staples 1½"	—
28	2" subfloor to joist or girder, blind and face nail	2-16d (3½" × 0.135")	at each bearing
29	2" planks (plank & beam- floor & roof)	2-16d (3½" × 0.135")	at each bearing
30	Built-up girders and beams, 2-inch lumber layers	10d (3" × 0.128")	Nail each layer as follows: 32" o.c. at top and bottom and staggered. Two nails at ends and at each splice
31	Ledger strip supporting joists or rafters	3-16d (3½" × 0.135")	At each joist or rafter

(continued)

TABLE R602.3(1)—continued FASTENER SCHEDULE FOR STRUCTURAL MEMBERS				
ITEM	DESCRIPTION OF BUILDING MATERIALS	DESCRIPTION OF FASTENER ^{a,c,e}	SPACING OF FASTENERS	
			Edges (inches)	Intermediate supports ^{c,e} (inches)
Wood structural panels, subfloor, roof and interior wall sheathing to framing and particleboard wall sheathing to framing				
32	½" - ½"	6d common (2" × 0.113") nail (subfloor, wall) ^f 8d common (2½" × 0.131") nail (roof) ^f	6	12 ^g
33	⅝" - 1"	8d common nail (2½" × 0.131")	6	12 ^g
34	1½" - 1½"	10d common (3" × 0.148") nail or 8d (2½" × 0.131") deformed nail	6	12
Other wall sheathing ^h				
35	½" structural cellulose fiberboard sheathing	½" galvanized roofing nail, 7/16" crown or 1" crown staple 16 ga., 1½" long	3	6
36	⅝" structural cellulose fiberboard sheathing	1½" galvanized roofing nail, 7/16" crown or 1" crown staple 16 ga., 1½" long	3	6
37	½" gypsum sheathing ⁱ	1½" galvanized roofing nail; staple galvanized 1½" long; 1½" screws, Type W or S	7	7
38	½" gypsum sheathing ⁱ	1½" galvanized roofing nail; staple galvanized 1½" long; 1½" screws, Type W or S	7	7
Wood structural panels, combination subfloor underlayment to framing				
39	½" and less	6d deformed (2" × 0.120") nail or 8d common (2½" × 0.131") nail	6	12
40	7/8" - 1"	8d common (2½" × 0.131") nail or 8d deformed (2½" × 0.120") nail	6	12
41	1½" - 1½"	10d common (3" × 0.148") nail or 8d deformed (2½" × 0.120") nail	6	12

For Slt. 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 mile per hour = 0.447 m/s; 1 Ksi = 6.895 MPa.

a. All nails are smooth-common, box or deformed shanks except where otherwise stated. Nails used for framing and sheathing connections shall have minimum average bending yield strengths as shown: 80 ksi for shank diameter of 0.192 inch (20d common nail), 90 ksi for shank diameters larger than 0.142 inch but not larger than 0.177 inch, and 100 ksi for shank diameters of 0.142 inch or less.

b. Staples are 16 gage wire and have a minimum 7/16-inch on diameter crown width.

c. Nails shall be spaced at not more than 6 inches on center at all supports where spans are 48 inches or greater.

d. Four-foot by 8-foot or 4-foot by 9-foot panels shall be applied vertically.

e. Spacing of fasteners not included in this table shall be based on Table R602.3(2).

f. For regions having basic wind speed of 110 mph or greater, 8d deformed (2½" × 0.120") nails shall be used for attaching plywood and wood structural panel roof sheathing to framing within minimum 48-inch distance from gable end walls, if mean roof height is more than 25 feet, up to 35 feet maximum.

g. For regions having basic wind speed of 100 mph or less, nails for attaching wood structural panel roof sheathing to gable end wall framings shall be spaced 6 inches on center. When basic wind speed is greater than 100 mph, nails for attaching panel roof sheathing to intermediate supports shall be spaced 6 inches on center for minimum 48-inch distance from ridges, eaves and gable end walls, and 4 inches on center to gable end wall framing.

h. Gypsum sheathing shall conform to ASTM C 1396 and shall be installed in accordance with GA 253. Fiberboard sheathing shall conform to ASTM C 208.

i. Spacing of fasteners on floor sheathing panel edges applies to panel edges supported by framing members and required blocking and at all floor perimeters only. Spacing of fasteners on roof sheathing panel edges applies to panel edges supported by framing members and required blocking. Blocking of roof or floor sheathing panel edges perpendicular to the framing members need not be provided except as required by other provisions of this code. Floor perimeter shall be supported by framing members or solid blocking.

j. Where a rafter is fastened to an adjacent parallel ceiling joist in accordance with this schedule, provide two toe nails on one side of the rafter and toe nails from the ceiling joist to top plate in accordance with this schedule. The toe nail on the opposite side of the rafter shall not be required.

TABLE R602.3(3) REQUIREMENTS FOR WOOD STRUCTURAL PANEL WALL SHEATHING USED TO RESIST WIND PRESSURES^{a, b, c}

MINIMUM NAIL		MINIMUM WOOD STRUCTURAL PANEL SPAN RATING	MINIMUM NOMINAL PANEL THICKNESS (inches)	MAXIMUM WALL STUD SPACING (inches)	PANEL NAIL SPACING		MAXIMUM WIND SPEED (mph)		
Size	Penetration (inches)				Edges (inches o.c.)	Field (inches o.c.)	Wind exposure category		
6d Common (2.0" × 0.113")	1.5	24/0	¾	16	6	12	B	C	D
8d Common (2.5" × 0.131")	1.75	24/16	7/8	16 24	6	12	130	110	105

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





PLAN DATE: 10-08-21

SHEET TITLE:

FASTENER SCHEDULE

A-403

SHEET 13 OF 6

WINDOW SCHEDULE											
Marker	Zone Number	Zone Name	Manufacturer	Model	R.O. SIZE		MATERIAL	Window Type...	View from Openin...	NOTES	Quantity
					WIDTH	HEIGHT					
LO1	LO08	Bedroom #5	Thermo Tech	tc 3642 e	3'-1/4"	3'-6 1/4"	O9 I Paint-OI White	WI Casement 22			1
LO2	LO05	Bedroom #4	Thermo Tech	tc 3642 e	3'-1/4"	3'-6 1/4"	O9 I Paint-OI White	WI Casement 22			1
LO3	LO04	Bedroom #3	Thermo Tech	tc 3642 e	3'-1/4"	3'-6 1/4"	O9 I Paint-OI White	WI Casement 22			1
MO1	MO01	Bedroom #2	Thermo Tech	tdh4060-2 e	6'-7 7/8"	5'-1/4"	O9 I Paint-OI White	W Double Hung MU 22			1
MO2	MO12	Covered Porch	Thermo Tech	tdh366O	3'-1/4"	5'-1/4"	O9 I Paint-OI White	W Double Hung 22			1
MO3	MO12	Covered Porch	Thermo Tech	tdh366O	3'-1/4"	5'-1/4"	O9 I Paint-OI White	W Double Hung 22			1
MO4	MO10	Dining	Thermo Tech	tdh306O	2'-6 1/4"	5'-1/4"	O9 I Paint-OI White	W Double Hung 22			1
MO5	MO10	Dining	Thermo Tech	tdh306O	2'-6 1/4"	5'-1/4"	O9 I Paint-OI White	W Double Hung 22			1
MO6	MO10	Dining	Thermo Tech	tdh306O	2'-6 1/4"	5'-1/4"	O9 I Paint-OI White	W Double Hung 22			1
MO7	MO06	Master Bedroom	Thermo Tech	tdh4060-2 e	6'-7 7/8"	5'-1/4"	O9 I Paint-OI White	W Double Hung MU 22			1
MO8	MO03	Stairs	Thermo Tech	tdh3042	2'-6 1/4"	3'-6 1/4"	O9 I Paint-OI White	W Double Hung 22			1



Window Schedule

SCALE: 1' = 1'-0"



FINISH SCHEDULE										
ROOM		FLOOR	WALLS				BASE	CASING	CEILING	REMARKS
NUMBER	NAME		NORTH	EAST	SOUTH	WEST				
LO01	Mech/Storage	---								
LO02	Stairs	---								
LO03	Family Room	---								
LO04	Bedroom #3	---								
LO05	Bedroom #4	---								
LO06	#3 WIC	---								
LO07	Bath	---								
LO08	Bedroom #5	---								
MO01	Bedroom #2	---								
MO02	Bath	---								
MO03	Stairs	---								
MO04	Master Bath	---								
MO05	Mstr WIC	---								
MO06	Master Bedroom	---								
MO07	Entry	---								
MO08	WIP	---								
MO09	Kitchen	---								
MO10	Dining	---								
MO11	Great Room	---								
MO12	Covered Porch	---								
MO13	Garage	---								



Finish Schedule

SCALE: 1' = 1'-0"

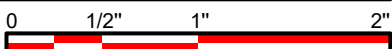


DOOR AND FRAME SCHEDULE																	
Marker	Zone Number	Zone Name	Manufact...	Model	W	HT	THK	MATL	GLZ	DETAIL			FIRE ...	HARDWARE		NOTES	Quantity
										HE...	JA...	SILL		SE...	KEYSID...		
LO1	LO01	Mech/Storage	Bayer Built	Undefined	2'-8"	6'-8"	1 3/4"										1
LO1	LO03	Family Room	Bayer Built	Undefined	2'-8"	6'-8"	1 3/4"										3
LO2	LO03	Family Room	Bayer Built	Undefined	2'-4"	6'-8"	1 1/4"										1
LO2	LO05	Bedroom #4	Bayer Built	Undefined	2'-4"	6'-8"	1 1/4"										1
LO3	LO04	Bedroom #3	Bayer Built	Undefined	4'-0"	6'-8"	1 3/4"										1
LO3	LO08	Bedroom #5	Bayer Built	Undefined	4'-0"	6'-8"	1 3/4"										1
MO1	MO01	Bedroom #2	Bayer Built	Undefined	3'-0"	6'-8"	1 1/4"										1
MO1	MO02	Bath	Bayer Built	Undefined	3'-0"	6'-8"	1 1/4"										1
MO1	MO06	Master Bedro...	Bayer Built	Undefined	3'-0"	6'-8"	1 1/4"										1
MO1	MO10	Dining	Bayer Built	Undefined	3'-0"	6'-8"	1 1/4"										1
MO2	MO01	Bedroom #2	Bayer Built	Undefined	4'-0"	6'-8"	1 3/4"										1
MO3	MO07	Entry	Bayer Built	Undefined	5'-0"	6'-8"	1 3/4"										1
MO4	MO04	Master Bath	Bayer Built	Undefined	3'-0"	6'-8"	1 3/4"										1
MA	MO11	Great Room	Bayer Built	Undefined	3'-2 1/2"	6'-10 1/4"	1 3/4"										1
MB	MO07	Entry	Bayer Built	Undefined	3'-2 1/2"	6'-10 1/4"	1 3/4"										1
MC	MO13	Garage	Bayer Built	Undefined	3'-2 1/2"	6'-10 1/4"	1 3/4"										1
MD	MO13	Garage	Clopay	Undefined	16'-0"	7'-0"	1 3/4"										1



Door Schedule

SCALE: 1' = 1'-0"



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built for:

418 Wilson Ave
St Cloud, MN

REV	DATE	DESCRIPTION
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PLAN DATE: 10-08-21

SHEET TITLE:

SCHEDULES

A-501

SHEET 14 OF 6