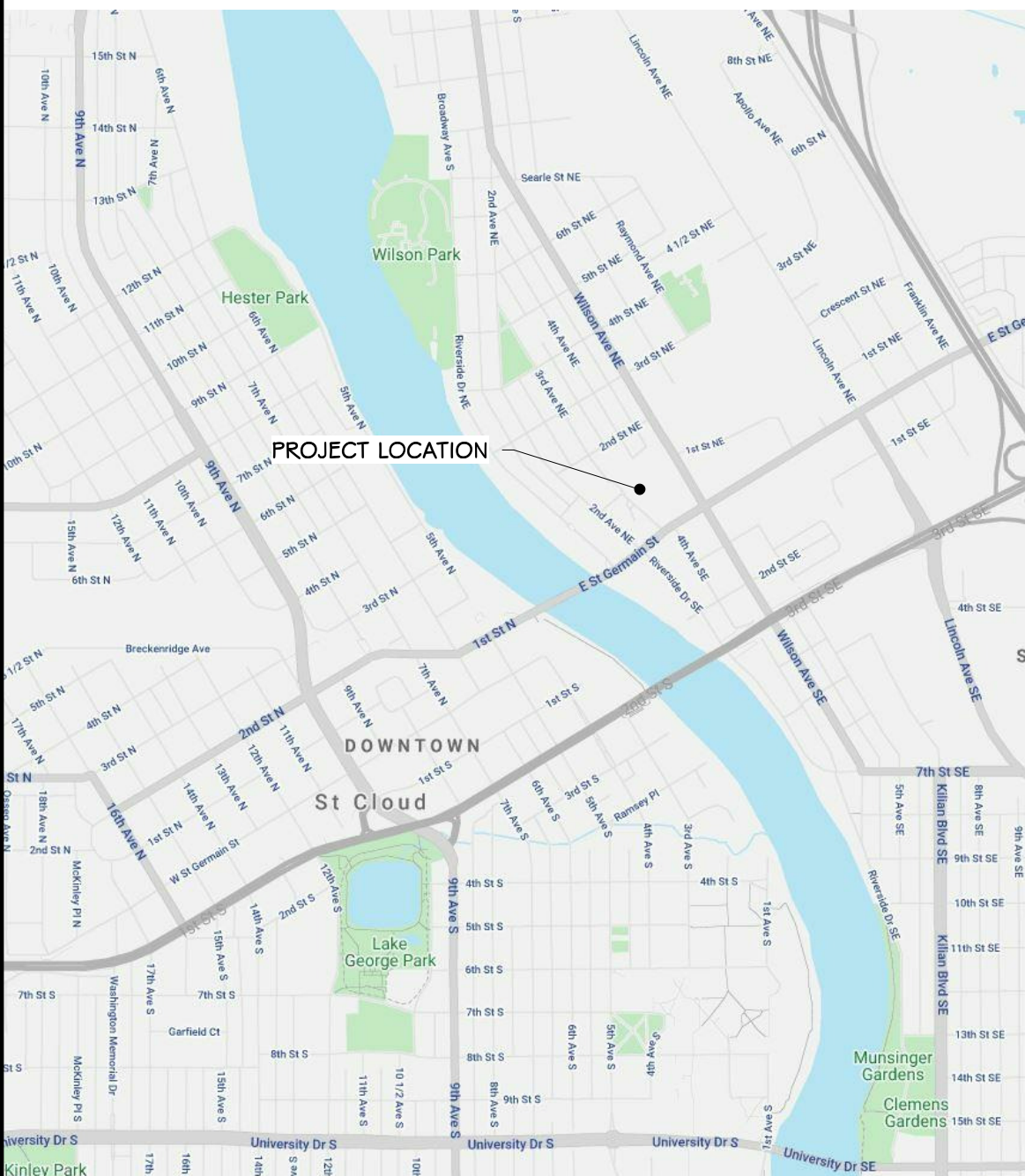


PROJECT LOCATION MAP



WILSON APARTMENTS

ACCESSIBILITY UPGRADES

ST. CLOUD HRA

41 3RD AVENUE NORTH EAST
ST. CLOUD, MINNESOTA 56303

PROJECT TEAM

ARCHITECT
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SHEET INDEX

GENERAL

T 1 TITLE SHEET

ARCHITECTURAL

A1 DEMOLITION PLANS
A2 RENOVATION PLANS
A3 CEILING PLAN

PLUMBING

P0.01 PLUMBING SYMBOLS AND LEGEND
P1.01 PLUMBING DEMO PLANS
P2.01 PLUMBING RENOVATION PLANS
P3.01 PLUMBING ISOMETRICS
P7.01 PLUMBING DETAILS
P8.01 PLUMBING SCHEDULES

ELECTRICAL

E0.01 ELECTRICAL SYMBOLS AND ABBREVIATIONS
E2.01 ELECTRICAL DEMOLITION PLAN
E3.01 ELECTRICAL RENOVATION PLANS

CODE ANALYSIS

APPLICABLE CODES:

2020 MINNESOTA BUILDING CODE
2020 MINNESOTA CONSERVATION CODE FOR EXISTING BUILDINGS
2020 MINNESOTA ACCESSIBILITY CODE
2020 MINNESOTA ENERGY CODE
2020 MINNESOTA ELEVATOR AND RELATED DEVICES CODE
2020 MINNESOTA STATE FIRE CODE
2015 MINNESOTA PLUMBING CODE
2020 NATIONAL ELECTRICAL CODE
2020 MINNESOTA MECHANICAL AND FUEL GAS CODE

PROJECT INFORMATION:

PROJECT NAME: ST. CLOUD HRA WILSON APARTMENTS - ACCESSIBILITY UPGRADES

PROJECT ADDRESS: 41 3RD AVENUE NORTH EAST
ST. CLOUD, MINNESOTA 56303

PROJECT DESCRIPTION: INTERIOR REMODEL / RECONFIGURATION OF SELECTED RESIDENT UNITS TO BE ACCESSIBLE (LEVEL 2 ALTERATION) - COMPLIANCE BASED ON 2020 MINNESOTA CONSERVATION CODE FOR EXISTING BUILDINGS

TYPE OF CONSTRUCTION: I-B (SPRINKLED)

OCCUPANCY CLASSIFICATION: RESIDENTIAL (GROUP "R-2")

DWELLING UNIT / CORRIDOR (WALLS) - 1/2 HOUR

DWELLING UNIT / DWELLING UNIT (WALLS) - 1 HOUR

DWELLING UNIT FLOORS - 1 HOUR

DOORS TO DWELLING UNIT - 20 MIN.



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STEVE PAASCH
DATE 9/28/2021 REG. NO. 21740

MATERIAL HATCHES

(SECTION CUTS)

EARTH/ COMPACTED FILL	EARTH UNDISTURBED
POURED CONCRETE	CONCRETE MASONRY UNITS
STONE	MASONRY VENEER
ROUGH WOOD	STEEL
FINISH WOOD (LARGE SCALE)	PLYWOOD (LARGE SCALE)
RIGID INSULATION	BATT INSULATION
CEILING TILE (LARGE SCALE)	BLOWN INSULATION
GRANULAR FILL	GYPSUM BOARD (LARGE SCALE)
GYPSUM BOARD CEILING (PLAN)	POURED CONCRETE (PLAN)

GRAPHIC SYMBOLS

WALL KEY EXISTING WALL NEW WALL REMOVED WALL ONE HOUR WALL TWO HOUR WALL SMOKE RESISTANT CONSTRUCTION	FIRE EXTINGUISHER CABINET FE FIRE EXTINGUISHER ON WALL BRACKET FEC FIRE EXTINGUISHER AND CABINET
SECTION SECTION NUMBER SHEET NUMBER	TACK BOARD TB -- x -- TACK BOARD WIDTH X HEIGHT
EXTERIOR ELEVATION ELEVATION NUMBER SHEET NUMBER	MARKER BOARD MB -- x -- MARKER BOARD WIDTH X HEIGHT
DETAIL DETAIL NUMBER SHEET NUMBER	PROJECTION SCREEN PS -- x -- PROJECTION SCREEN WIDTH X HEIGHT
INTERIOR ELEVATION SHEET NUMBER ELEVATION NUMBER	MIRROR MR -- x -- MIRROR WIDTH X HEIGHT
ELEVATION MARKER 100'-0" ELEVATION STL BRG ELEVATION DESCRIPTION	SOIL BORING TB # BORING NUMBER BORING LOCATION
SITE GRADE ELEVATIONS 100.00 NEW SPOT ELEVATION x 100.00 EXISTING SPOT ELEVATION EXISTING CONTOUR (DISTURBED) EXISTING CONTOUR (ELEVATION NOTED ON HIGHER SIDE)	LINE TYPES CENTERLINE PROPERTY LINE ELEMENT ABOVE PLAN VIEW CUT GRID GRID NUMBER OR LETTER

IDENTIFIERS

DOOR DOOR NO.	ROOM NAME AND NUMBER NAME ROOM NAME ROOM NUMBER
WINDOW AND BORROWED LITE WINDOW MARK	WALL TYPE WALL TYPE NUMBER (SEE WALL TYPE SCHEDULE)
PLANTINGS TYPE QUANTITY	CONSTRUCTION NOTE CONSTRUCTION NOTE MARK
DEMOLITION NOTE DEMOLITION NOTE MARK	

TITLE BLOCK AND SHEET INFORMATION

TITLE MARK DETAIL NAME TITLE SCALE DETAIL NUMBER	NORTH ARROW

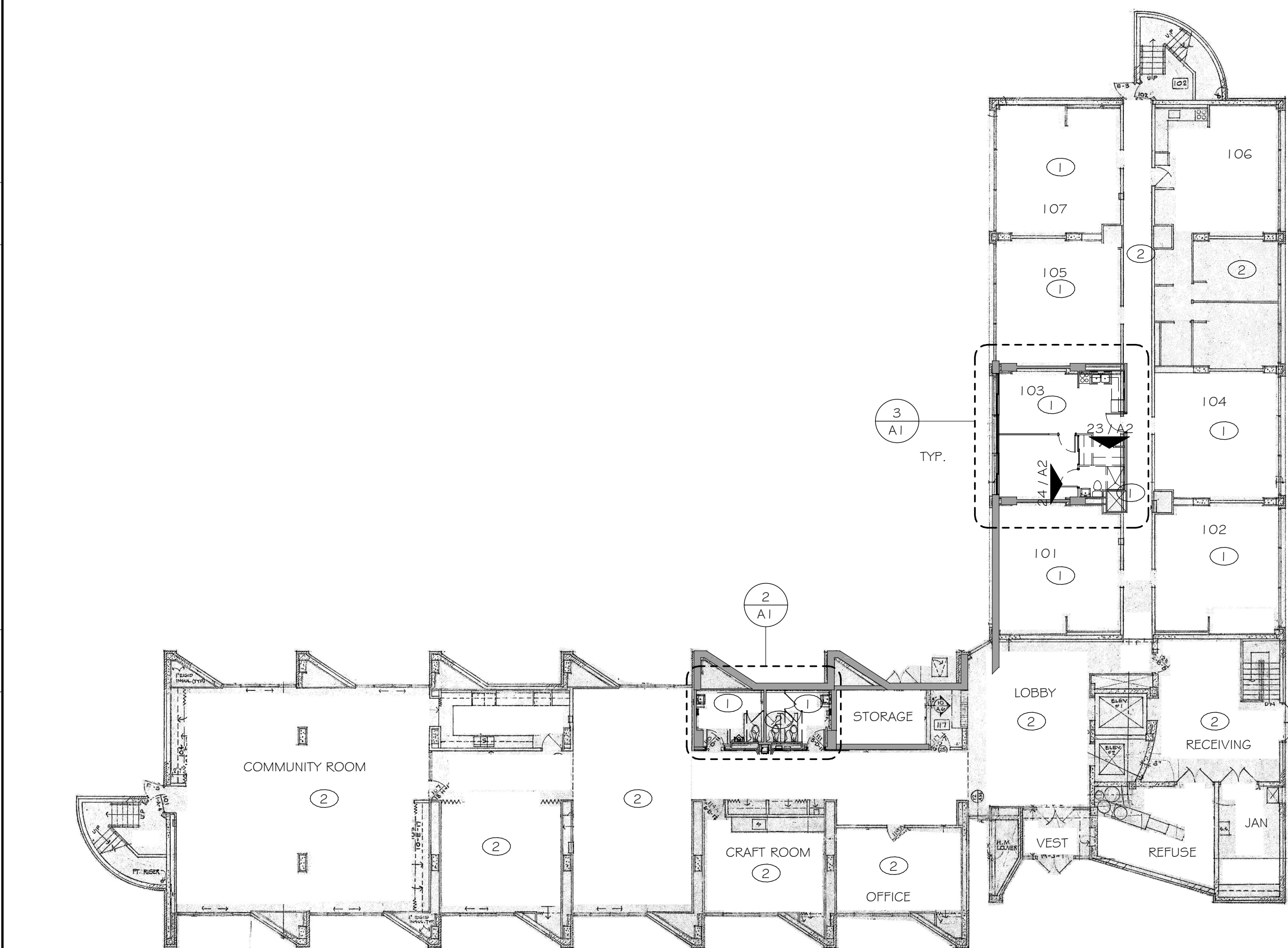
TITLE SHEET

WILSON APARTMENTS ACCESSIBILITY UPGRADES

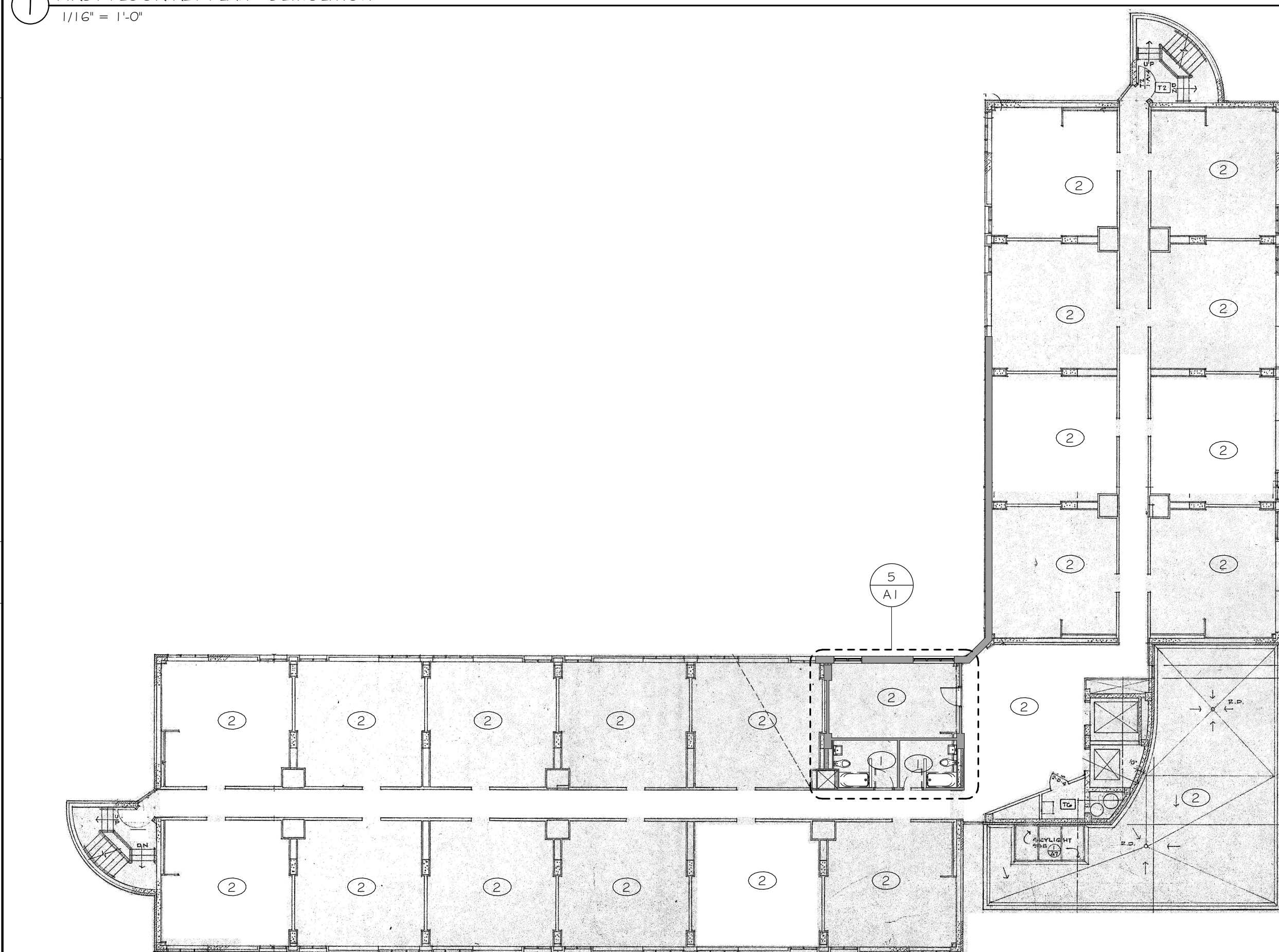
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41 3RD AVENUE NORTH EAST
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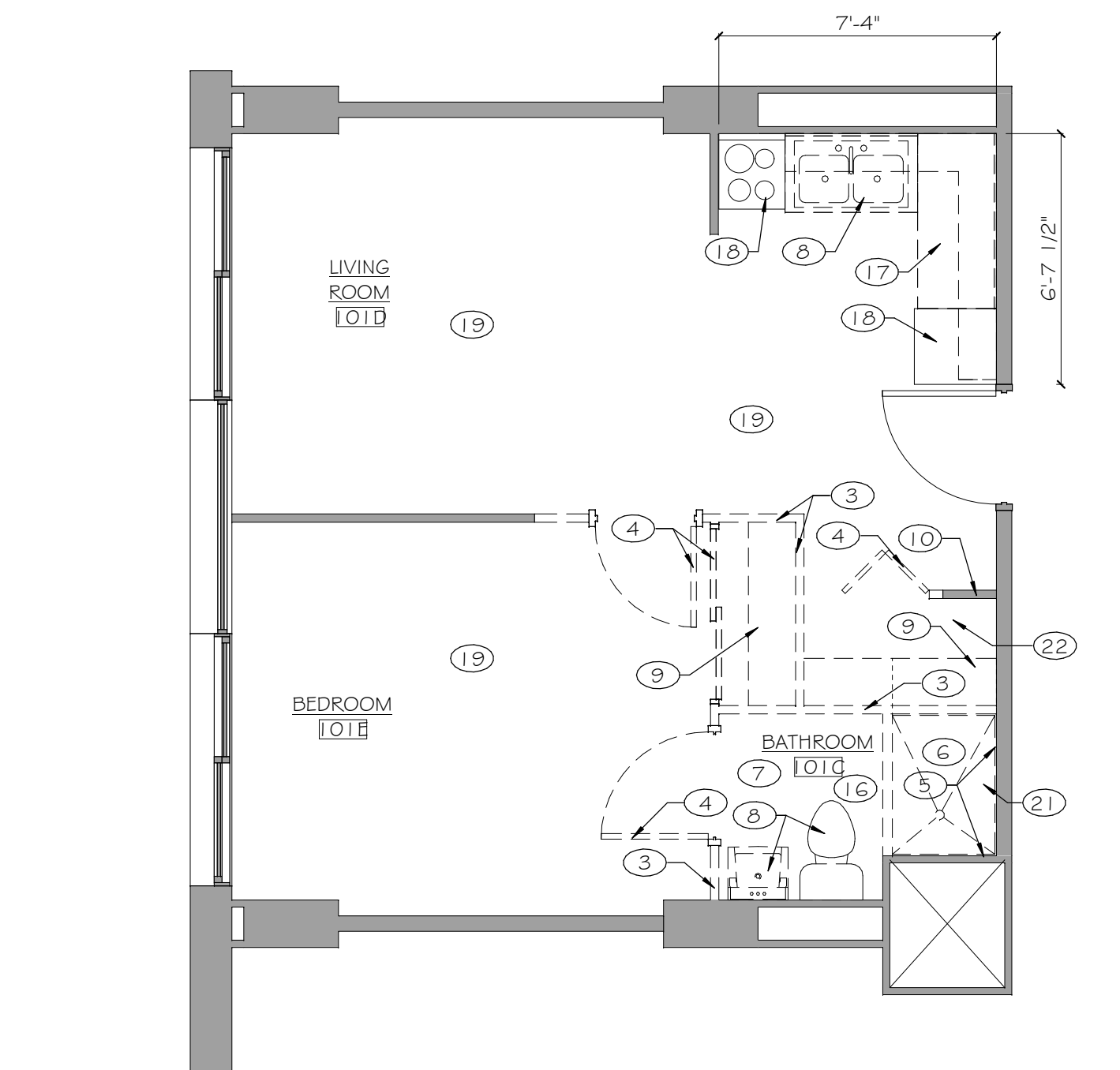
NORTH	DATE 09/28/2021
	PROJECT 2107
T1	



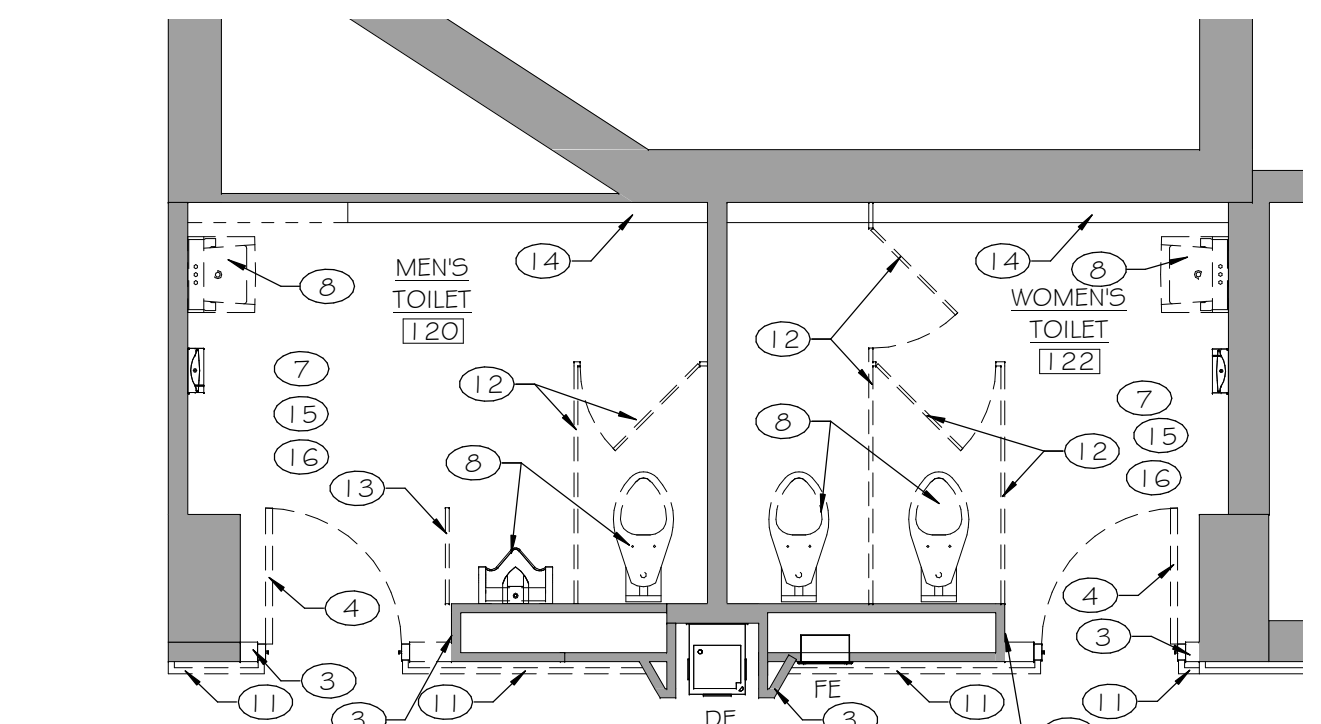
1 FIRST FLOOR KEY PLAN - DEMOLITION
1/16" = 1'-0"



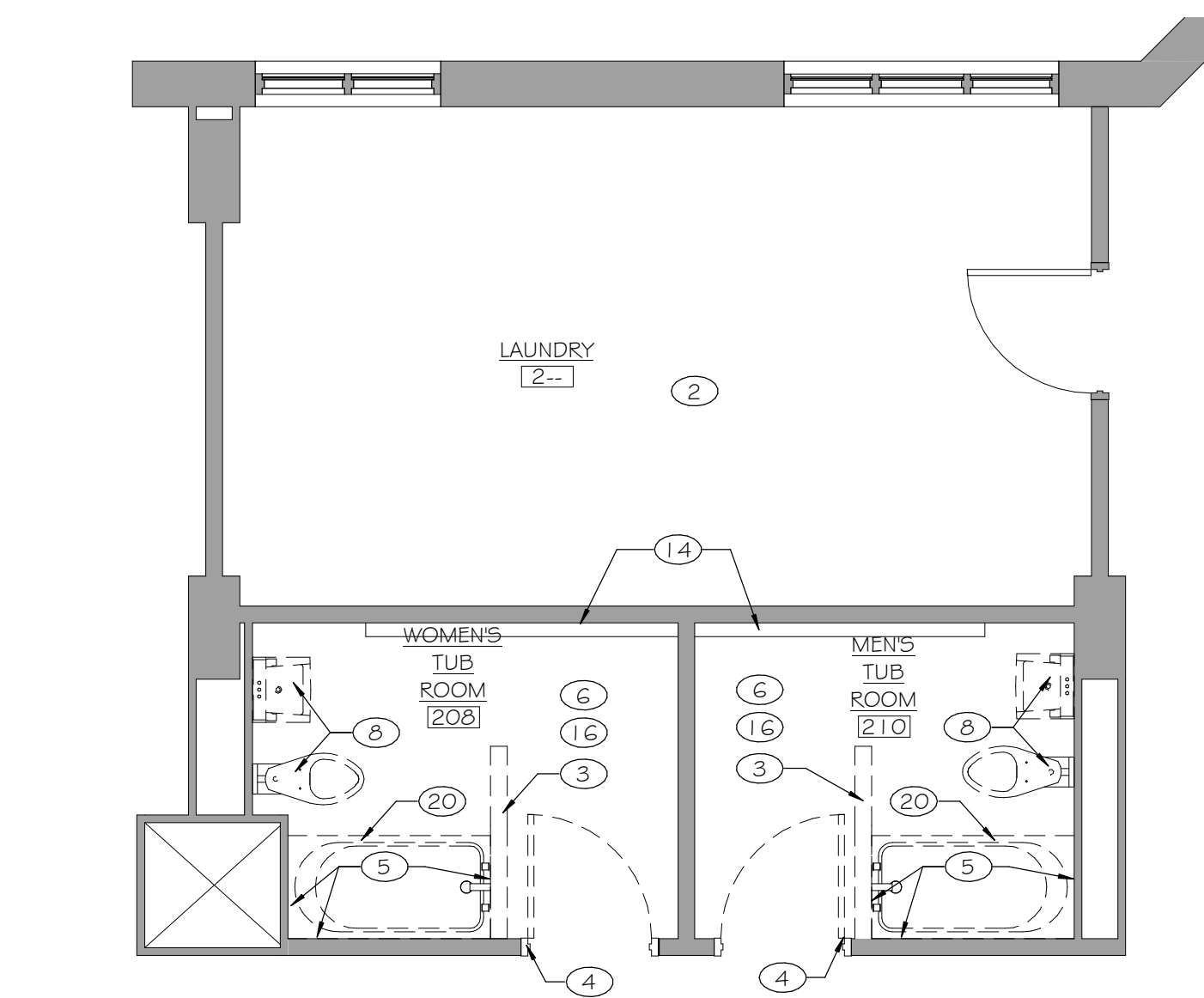
4 SECOND FLOOR KEY PLAN - DEMOLITION
1/16" = 1'-0"



3 DEMOLITION PLAN - FIRST FLOOR
TYPICAL UNIT (6 THUS)
1/4" = 1'-0"



2 DEMOLITION PLAN - FIRST FLOOR
TOILETS
1/4" = 1'-0"



5 DEMOLITION PLAN - SECOND FLOOR
BATHING
1/4" = 1'-0"

GENERAL DEMOLITION NOTES

- THE CONTRACTOR SHALL EXAMINE THE DRAWINGS AND EXISTING SITE CONDITIONS TO DETERMINE EXTENT OF DEMOLITION WORK REQUIRED.
- DEMOLITION TO BE BY SAW WHEN NEAT & STRAIGHT CUTS ARE REQUIRED.
- ALL DEMOLITION MUST BE DONE IN THE REQUIRED EXTENT TO PREPARE & ALLOW FOR THE NEW FINISH OR CONSTRUCTION ELEMENT PLANNED AT THIS LOCATION.

DEMOLITION PLAN NOTES

- UNIT TO BE MADE ACCESSIBLE, SEE UNIT PLAN.
- NO WORK, U.N.O.
- REMOVE MTL STUD AND GYP BD WALL CONST.
- REMOVE DOOR, FRAME, AND HARDWARE.
- REMOVE TILE AND CEMENT BOARD BACKER.
- REMOVE C.T. FLOOR TILE AND BASE.
- REMOVE SHEET VINYL FLOORING AND BASE.
- REMOVE PLUMBING FIXTURE, SEE MECH.
- REMOVE CLOSET ORGANIZER / SHELVES.
- ELECTRICAL PANEL.
- REMOVE WD HANDRAIL AND BRACKETS. SALVAGE FOR REUSE
- REMOVE TOILET PARTITION AND DOORS.
- REMOVE URINAL SCREEN.
- EXISTING HEAT RADIATOR, PROTECT DURING CONSTRUCTION.
- REMOVE 4'-0" HIGH TILE WAINSCOT FROM THIS ROOM.
- REMOVE ALL TOILET ACCESSORIES (MIRRORS, GRAB BARS, ETC.).
- REMOVE CASEWORK.
- EXISTING APPLIANCE, RELOCATE DURING CONSTRUCTION.
- EXISTING ACT FLOORING TO REMOVED BY ABATEMENT CONTRACTOR
- REMOVE BATHTUB.
- REMOVE CONCRETE SLAB FOR NEW SHOWER FLOOR.
- REMOVE VCT FLOORING AND BASE

Revision Schedule

Revision Number	Revision Description	Revision Date
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WILSON APARTMENTS ACCESSIBILITY UPGRADES

ST. CLOUD HRA

41 3RD AVENUE NORTH EAST
ST. CLOUD, MINNESOTA
56303

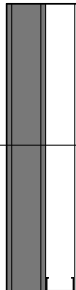


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	PROJECT 2107
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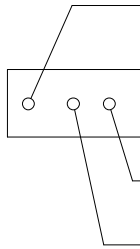
ROOM FINISH SCHEDULE										
NUMBER	ROOM NAME	FLOOR	BASE	WALLS				CEILING	CLG. HEIGHT	COMMENTS
				NORTH	EAST	SOUTH	WEST			
101A	KITCHEN	VCT	RB	P / PLAM	P / PLAM	P	P	ACT	8'-0"	7
101B	PANTRY	VCT	RB	P	P	P	P	ACT	8'-0"	
101C	BATHROOM	SV / CT	RB / CT	P	P	P	P	ACT	8'-0"	1
101D	LIVING ROOM	VCT	RB	P	P	P	P	ACT	8'-0"	
101E	BEDROOM	VCT	RB	P	P	P	P	ACT	8'-0"	
120	MEN'S TOILET	SV	SV	CT / SP	CT / SP	CT / SP	CT / SP	ACT	8'-0"	2, 3
122	WOMEN'S TOILET	SV	SV	CT / SP	CT / SP	CT / SP	CT / SP	ACT	8'-0"	2, 3
123	HALLWAY	EX CPT	CPT	P	EX	EX	EX	EX ACT	8'-0"	5, 6
208	WOMEN'S TUB ROOM	CT	CT	P	P	P	P	P	8'-0"	4
210	MEN'S TUB ROOM	CT	CT	P	P	P	P	P	8'-0"	4

ROOM FINISH SCHEDULE ABBREVIATIONS										
AP	ACOUSTICAL PANEL	RT	RUBBER TILE	NOTES:						
ACT	ACOUSTICAL CEILING TILE	SF	SPECIAL FINISH							
C	CONCRETE SEALED	SP	SPECIAL PAINT	1. CT FLOOR AND WALLS IN SHOWER AREA TO CEILING						
CPT	CARPET	SV	SHEET VINYL	2. CT WAINSCOT TO 5'-4" HIGH. PAINT WALLS ABOVE.						
C-5F	CONCRETE - SPECIAL FINISH	TZ	TERRAZZO	3. SV BASE TO BE COVERED.						
CT	CERAMIC TILE	V	VINYL BASE	4. CT ON WALLS AROUND TUB TO CEILING.						
CTP	CEILING TEXTURE AND PAINT	VT	VINYL TILE	5. PAINT NEW WALL & EXISTING WALL FROM CORNER OF NEW DOOR TO C.T. AT DRINKING FOUNTAIN						
CU	CONCRETE BLOCK w/ URETHANE	VCT	VINYL COMPOSITION TILE	6. PATCH CARPET AT NEW DOOR LOCATION, PATCH W/ OWNER PROVIDED CARPET.						
EX	EXISTING	WVC	VINYL WALLCOVERING							
EXP	EXISTING TO REMAIN	WDF	WOOD, FIELD FINISHED							
P	EXPOSED STRUCTURE PAINTED	WDP	WOOD, PRE-FINISHED							
FRP	FIBERGLASS REINFORCED PANEL	WTP	WALL TEXTURE AND PAINT							
MTL	METAL GRATE - SEE SPECIFICATIONS	WTS	WALL TEXTURE AND SPECIAL PAINT							
P	PAINT	WM	WALK OFF MAT							
PCT	PORCELAIN TILE	WM	NO FINISH							
QT	QUARRY TILE	--								
RB	RUBBER BASE	--								

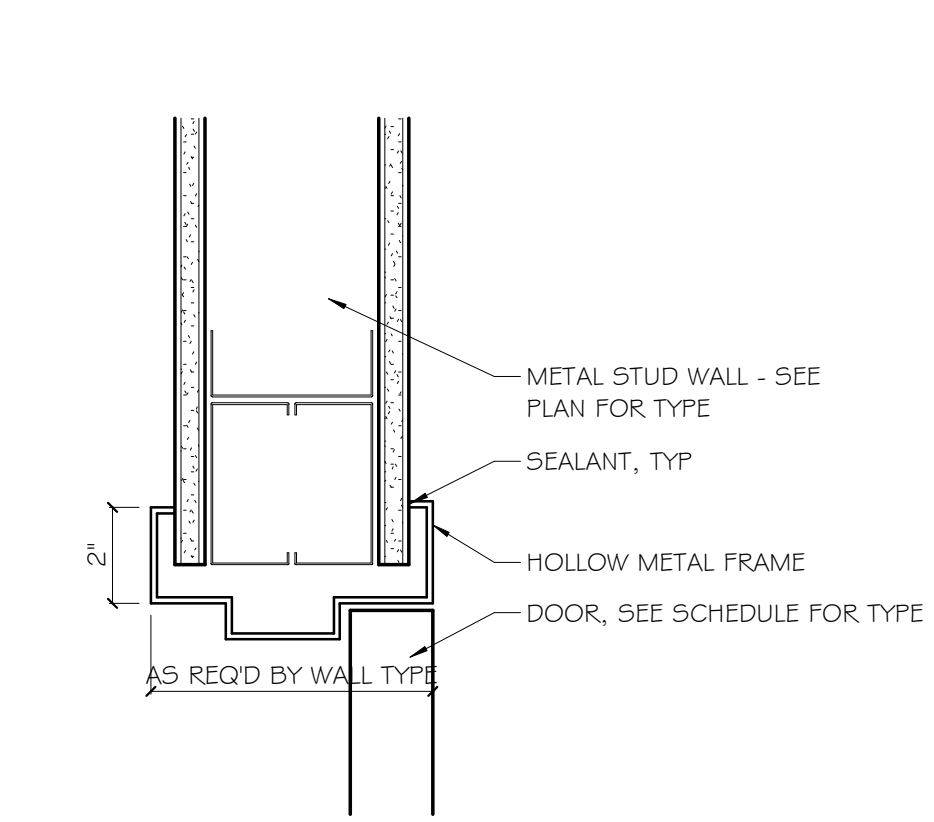
DOOR SCHEDULE												
MARK	SIZE	ELEV	MATERIAL			DETAIL			FIRE RATING	HDWR	NOTES	
			DOOR	FRAME	GLASS	HEAD	JAMB	SILL				
101B	3'-6" x 6'-8" x 1 3/8"	B	WD	-	-	-	-	-	-	1	3	
101C	3'-0" x 6'-8"	D	WD	HM	-	-	-	-	-	2	1	
101E	3'-0" x 6'-8" x 1-3/4"	A	WD	HM	-	8/A2	8/A2	-	-	3		
101F	5'-0" x 6'-8" x 1 3/8"	C	WD	-	-	-	-	-	-	4	2	
120	3'-0" x 6'-8" x 1-3/4"	A	WD	HM	-	3/A2	3/A2	-	-	5		
122	3'-0" x 6'-8" x 1-3/4"	A	WD	HM	-	3/A2	3/A2	-	-	5		
208	3'-0" x 6'-8" x 1-3/4"	A	WD	HM	-	3/A2	3/A2	-	-	5		
210	3'-0" x 6'-8" x 1-3/4"	A	WD	HM	-	3/A2	3/A2	-	-	5		

NOTES		DOOR SCHEDULE KEY	
1	POCKET DOOR MAINTAIN 32" CLEAR		ABBREVIATIONS AL - ALUMINUM HM - HOLLOW METAL MC - METAL CLAD P LAM - PLASTIC LAMINATE, SOLID CORE SM - SECTIONAL METAL STL - STEEL WD - WOOD VENEER, SOLID CORE WD HC - WOOD VENEER, HOLLOW CORE
2	SLIDING DOOR		
3	BIFOLD DOOR		
4			
5			
6			
7			
8			
9			

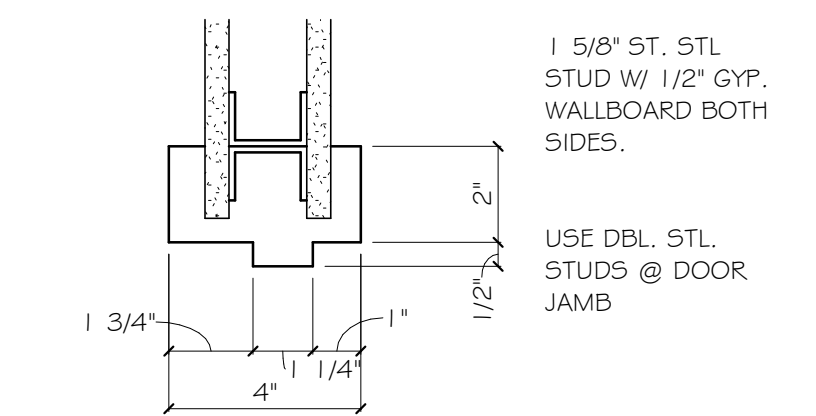
WALL TYPES			- ALL STUD FRAMING TO BE 16" O.C., U.N.O. - TYPICAL WALL = 4D1 UNLESS OTHERWISE NOTED		
	1	5/8" GYP. BD METAL STUD EXISTING WALL		4	1-HR. RATED WALLS (WHERE INDICATED ON PLANS) METAL STUD : UL U448/U465 WOOD STUD : UL U309/U314
				9	CERAMIC TILE 5/8" CEMENTITIOUS BOARD 6 MIL POLY IN WET AREAS 20ga METAL STUD FRAMING 5/8" GYP BD

WALL TYPE SCHEDULE KEY				
	MATERIAL SIZE		SUPPLEMENT	
	METAL	WOOD STUD MASONRY	1. FULL THICKNESS SOUND INSULATION. 2. 5/8" CEMENTITIOUS BOARD AT TILE WAINSCOT AND 5/8" GYP BD ABOVE WAINSCOT BOTH SIDES 3. USE 1/2" GYP BD IN LIEU OF 5/8" GYP BD	
A	7/8"	3/4"	--	
B	1 5/8"	1 1/2"	--	
C	2-1/2"	2 1/2"	--	
D	3 5/8"	3 1/2"	3 5/8"	
E	6"	5 1/2"	5 5/8"	
F	8"	7 1/4"	7 5/8"	
G	12"	11 1/4"	11	
H	--	--	5/8"	
			15	
			5/8"	

NOTE: KEEP STANDARD 13 TYPES & NUMBERS. ADD NEW NUMBERS FOR NEW TYPES. TO SAVE SPACE, YOU MAY MOVE OFF TYPES NOT USED, AND ADD ONES AT THE END. MOVE OFF SUPPLEMENTS THAT ARE NOT USED, AND RE-LETTER THE REMAINING ONES.



3 5/8" WALL DETAIL
3" = 1'-0"



1 5/8" WALL DETAIL
3" = 1'-0"

- PLAN NOTES
- WRAP PIPE UNDER SINK, SEE MECH.
 - ADD AUTOMATIC DOOR OPENER TO EXISTING DOOR.
 - REPAIR WALL SURFACE TO MATCH ADJACENT.
 - PATCH GYP BD CEILING WHERE WALL WAS REMOVED.
 - MODIFY EXISTING WD HANDRAIL TO RETURN TO WALL.
 - EXISTING FIRE EXTINGUISHER CABINET TO REMAIN.
 - 18" GRAB BAR (VERTICAL).
 - 42" GRAB BAR (HORIZONTAL).
 - 36" GRAB BAR (HORIZONTAL).
 - HANDS FREE SOAP DISPENSER.
 - TOILET PAPER HOLDER.
 - MIRROR, W/ SHELF
 - 12" GRAB BAR (HORIZONTAL).
 - 24" GRAB BAR (VERTICAL).
 - 18" GRAB BAR (HORIZONTAL).
 - SHOWER ROD (SHOWER CURTAIN BY OWNER).
 - 24" TOWEL BAR.
 - FOLD-DOWN SEAT.
 - ELECTRICAL PANEL
 - SANITARY NAPKIN WASTE RECEPT.
 - PAPER TOWEL DISPENSER.
 - 24" GRAB BAR (HORIZONTAL).
 - ROBE HOOK OR TOWEL PIN.
 - NEW APPLIANCE, BY OWNER
 - NEW RANGE HOOD
 - 3 COAT HOOK ON 1 X 4 FINISHED HARDWOOD BOARD TOP OF BOARD TO BE 4'-0" A.F.F
 - INFILL CARPET PROVIDED BY OWNER AT NEW DOOR WAY.
 - MEDICAL CABINET
 - MIRROR
 - DIAPER CHANGING STATION
 - NEW CONCRETE SLAB @ SHOWER, SLOPE 1/4" / FT TO DRAIN

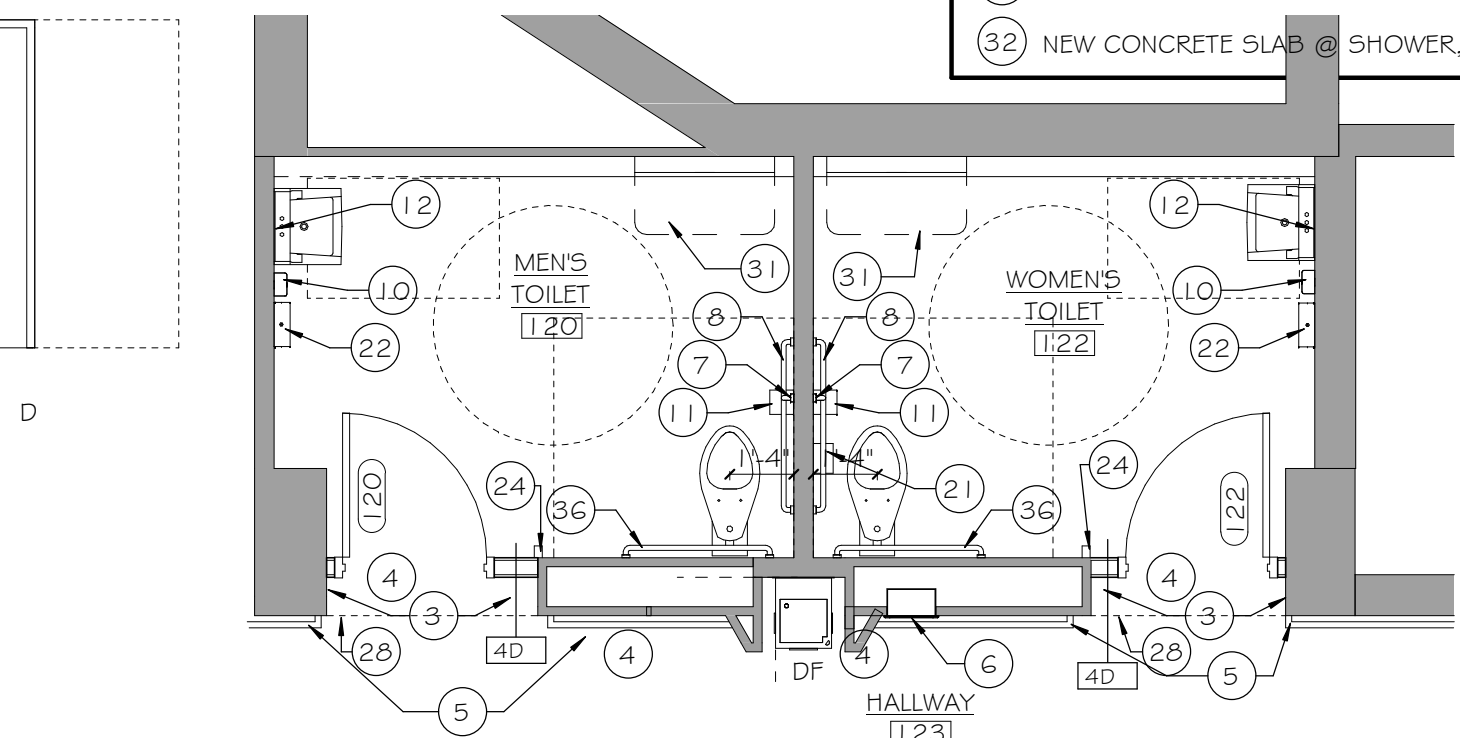
- GENERAL PLAN NOTES
- A. DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD OR FACE OF MASONRY UNLESS NOTED OTHERWISE. WRITTEN & FIGURED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS.
- B. SOME WALLS, WHETHER NOTED OR NOT, MAY NEED WIDER FRAMING TO ACCOMMODATE PLUMBING, CONDUIT, OR DUCTWORK. VERIFY AND COORDINATE WITH MECHANICAL OR ELECTRICAL CONTRACTOR, AND NOTIFY ARCHITECT OF ANY SUCH CHANGES.
- C. DIMENSIONS ON THE DRAWINGS ARE SUBJECT TO FIELD VERIFICATION TO SUIT ADJACENT ELEMENTS. DIMENSIONS TO, AND INVOLVING EXISTING BUILDINGS, SHALL ALL BE FIELD VERIFIED BY CONTRACTOR. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- D. DOORS IN CORNERS SHOULD BE FRAMED TO BE A MINIMUM OF 3" AWAY FROM PERPENDICULAR WALL UNLESS NOTED OTHERWISE.
- E. ALL WALLS RUN TO DECK, AND ARE SEALED TOP & BOTTOM EACH SIDE UNLESS NOTED OTHERWISE.
- F. SUBSTITUTE WATER RESISTANT GYPSUM BOARD IN ALL WET AREAS (BATHROOMS, TUB ROOMS, TOILET ROOMS).

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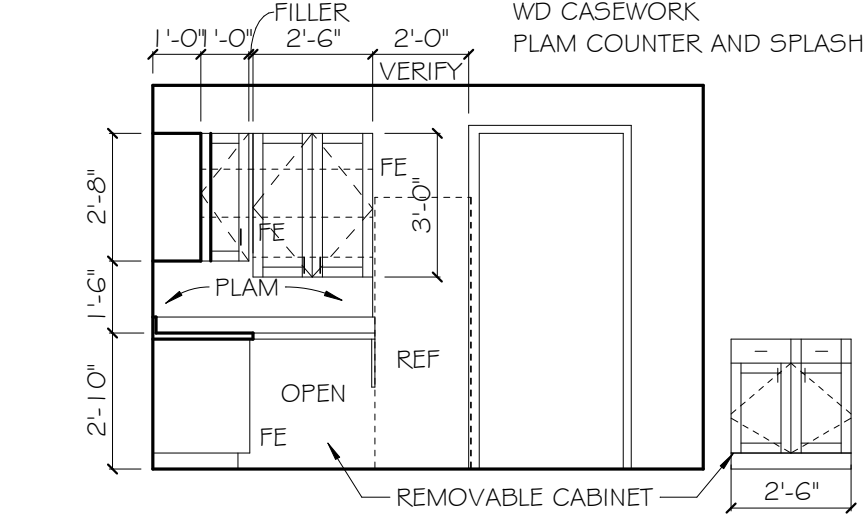
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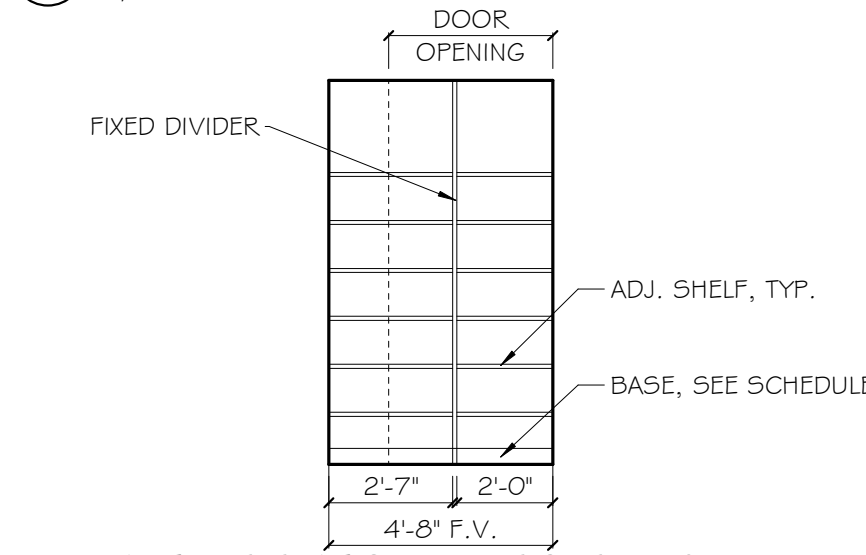
STEVE PAASCH
DATE 9/28/2021 REG. NO. 21740



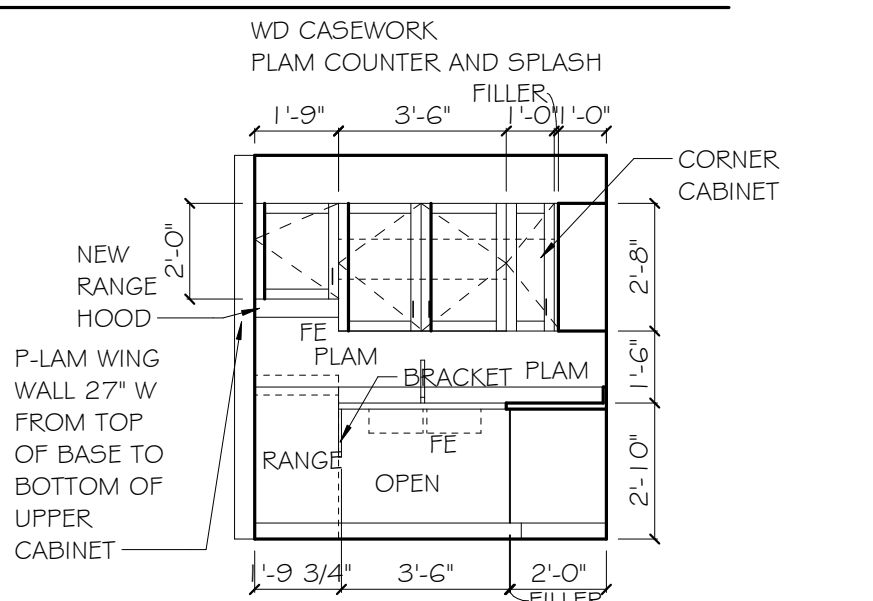
NEW CONSTRUCTION - FIRST FLOOR
TOILET PLAN
1/4" = 1'-0"



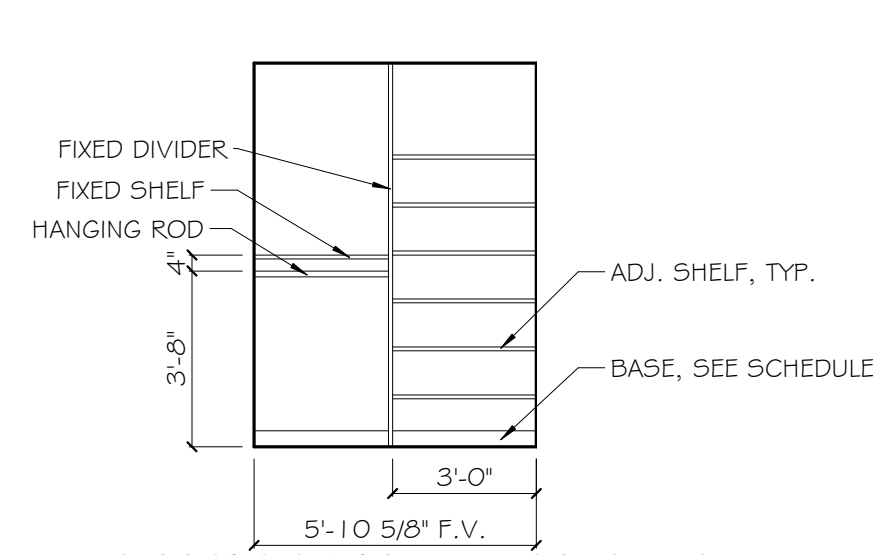
18 KITCHEN ELEVATION
1/4" = 1'-0"



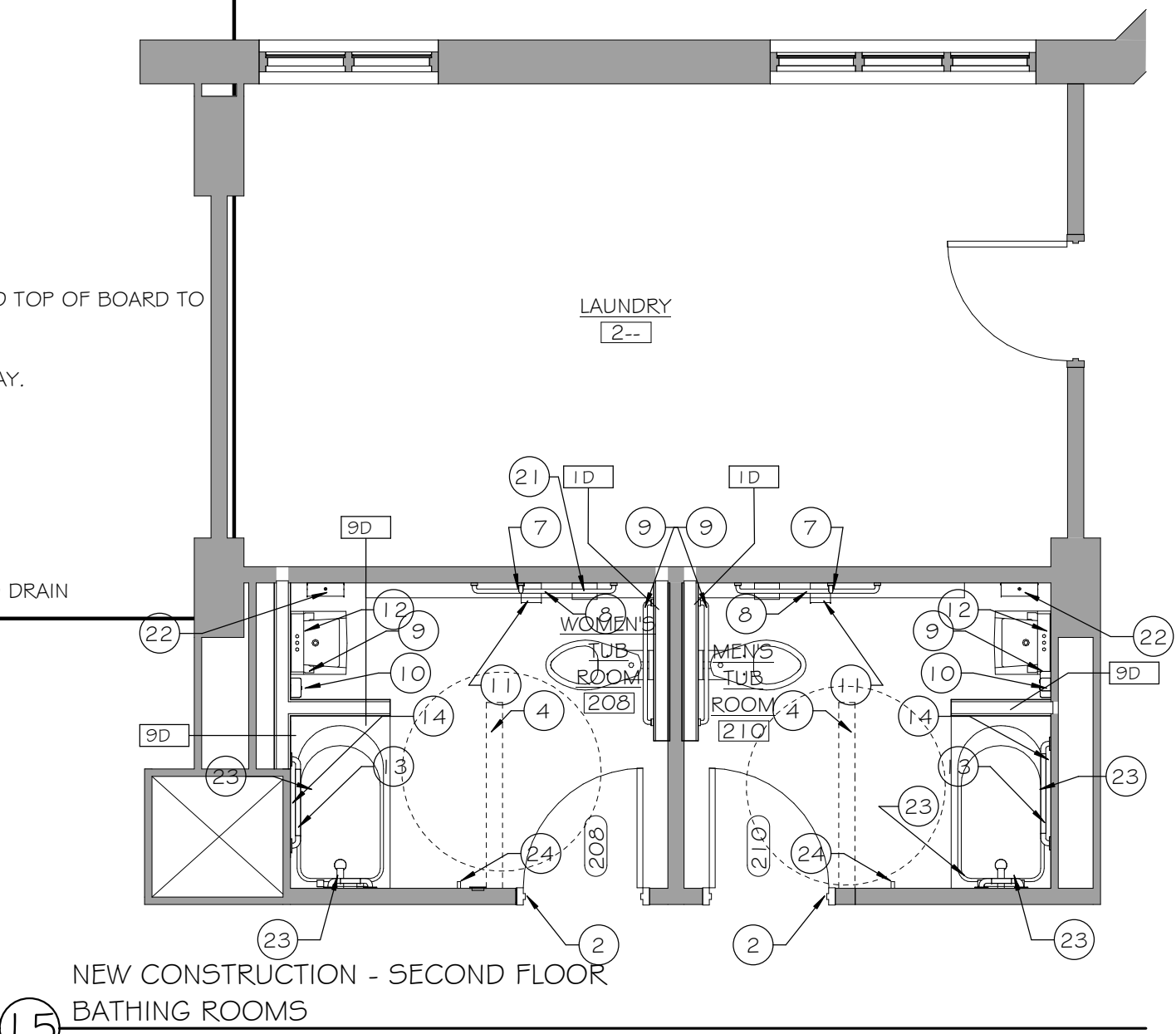
23 PANTRY ELEVATION - WIRE SHELVEING
1/4" = 1'-0"



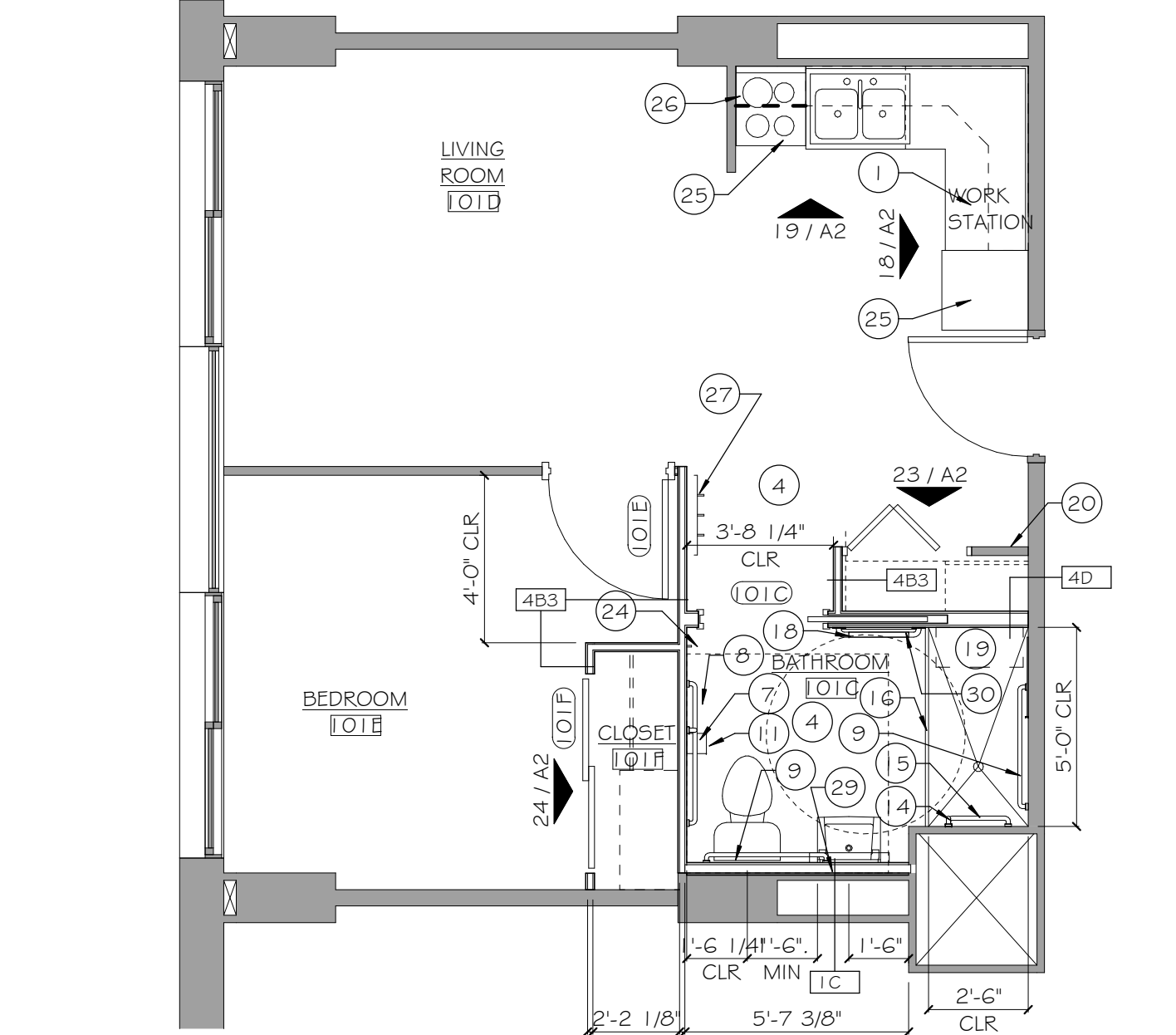
19 KITCHEN ELEVATION
1/4" = 1'-0"



24 CLOSET ELEVATION - WIRE SHELVEING
1/4" = 1'-0"



15 NEW CONSTRUCTION - SECOND FLOOR
BATHING ROOMS
1/4" = 1'-0"



25 NEW CONSTRUCTION - FIRST FLOOR
UNIT PLAN (6 THUS) 106, 104, 102 ARE REVERSED PLANS
1/4" = 1'-0"

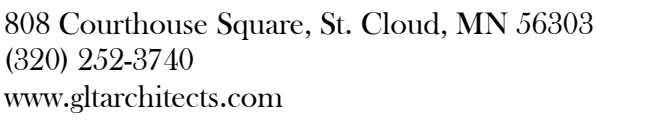
WILSON
APARTMENTS
ACCESSIBILITY
UPGRADES

ST. CLOUD HRA

41 3RD AVENUE NORTH EAST
ST. CLOUD, MINNESOTA
56303

DATE 09/28/2021
PROJECT 2107

A2



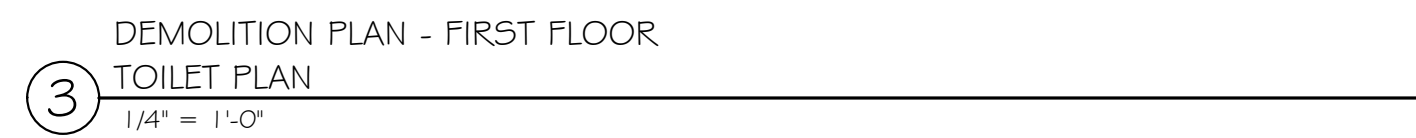
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STEVE PAASCH

DATE 9/28/2021

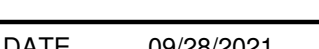
EG. NO. 21740



Case	Description	Outcome	Comments
1	A 45-year-old male with a history of alcoholism and depression presented with a 2-week history of weight loss, fatigue, and decreased appetite.	The patient was diagnosed with major depressive disorder and started on fluoxetine.	The patient's symptoms improved significantly after 4 weeks of treatment.
2	A 32-year-old female with a history of anxiety disorder presented with a 3-week history of insomnia, irritability, and increased heart rate.	The patient was diagnosed with generalized anxiety disorder and started on sertraline.	The patient's symptoms improved significantly after 6 weeks of treatment.
3	A 58-year-old male with a history of hypertension and diabetes presented with a 4-week history of decreased energy, weight loss, and increased thirst.	The patient was diagnosed with major depressive disorder and started on escitalopram.	The patient's symptoms improved significantly after 8 weeks of treatment.
4	A 28-year-old female with a history of bipolar disorder presented with a 5-week history of decreased energy, weight loss, and decreased appetite.	The patient was diagnosed with major depressive disorder and started on fluoxetine.	The patient's symptoms improved significantly after 10 weeks of treatment.
5	A 65-year-old male with a history of chronic pain and depression presented with a 6-week history of decreased energy, weight loss, and decreased appetite.	The patient was diagnosed with major depressive disorder and started on escitalopram.	The patient's symptoms improved significantly after 12 weeks of treatment.

ST. CLOUD HRA

41 3RD AVENUE NORTH EAST
ST. CLOUD, MINNESOTA
56303



PROJECT 2107

A3

FIXTURE AND ACCESSORY REQUIREMENTS AND MOUNTING HEIGHTS

NOTE: ALL DIMENSIONS ARE FOR ACCESSIBLE FIXTURES U.N.O.
SCALE: 1/4" = 1'-0"

Fixture	Height	Width	Other Dimensions
LAVATORY SIDE (F1)	17"-25"	31" STD	34" AC, 32" NURSING, 1" MIN
LAVATORY FRONT (F1A)	27" MIN	15" MIN	40" MAX AFF WHEN OVER SINK OR COUNTER
MIRROR (F2)	35" MAX	72"	
STANDARD MED. CAB. (F3)	39" MAX	30"	
ACCESSIBLE MED. CAB. (F4)	39" MAX	30"	
STANDARD W.C. (F5)	30"	30"	
STANDARD W.C. (F6)	30"	30"	
ACCESSIBLE WATER CLOSET (F7)	33"-36"	30"	
ACCESSIBLE W.C. (F8)	33"-36"	30"	
SANITARY NAPKIN DISPENSER (F9)	48" SIDE REACH	44" FORWARD	48" FORWARD, 48" UNDER, 20"
PAPER TOWEL DISPENSER (F10)	48" SIDE REACH	44" FORWARD	48" FORWARD, 48" UNDER, 20"
HAND DRYER (F11)	48" SIDE REACH	44" FORWARD	48" FORWARD, 48" UNDER, 20"
SOAP DISPENSER (WALL UNIT) (F12)	48" SIDE REACH	44" FORWARD	48" FORWARD, 48" UNDER, 20"
FOOT (F14)	30"	30"	
BACK TUB UNIT (F15)	30"	30"	
HEAD (F16)	30"	30"	

CEILING PLAN

PLUMBING SYMBOLS							
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	ANGLE VALVE		FIRE LINE		LOW PRESSURE CONDENSATE		SNOW MELTING SYSTEM RETURN
	BACKFLOW PREVENTER		FLANGE		LOW PRESSURE STEAM SUPPLY		STEAM TRAP
	BACK WATER VALVE		FLOOR CLEAN OUT		MEDIUM PRESSURE CONDENSATE		STORM SEWER LINE (ABOVE GRADE)
	BALL VALVE		FLOOR DRAIN		MEDIUM PRESSURE STEAM SUPPLY		STORM SEWER LINE (BELOW GRADE)
	BASEBOARD RADIATION		FLOW MEASURING & BALANCING DEVICE		OVERFLOW RAIN WATER LEADER		STRAINER
	BRASS UPRIGHT PENDENT TYPE SPRINKLER HEAD		FLOW MEASURING & BALANCING DEVICE, WITH ISOLATION VALVE		OVERFLOW ROOF DRAIN		TEMPERATURE GAUGE
	BUTTERFLY VALVE		FUEL OIL SUPPLY		OXYGEN PIPING		TEMPERED WATER
	CHECK VALVE W/DIRECTION INDICATED		FUEL OIL RETURN		PIPE ANCHOR		THREADED HOSE CONNECTION
	CHILLED WATER SUPPLY		FUEL OIL VENT		PIPE GUIDES		TRIPLE DUTY VALVE, WITH COMBINATION SHUT-OFF, BALANCING, AND CHECK VALVE WITH MEASURING CONNECTIONS
	CHILLED WATER RETURN		GATE VALVE		PIPE CAP		UNION
	CHROME PLATTED RECESSED TYPE SPRINKLER HEAD		GLOBE VALVE		PIPE DOWN		VACUUM LINE
	CLEAN OUT		HIGH PRESSURE CONDENSATE		PIPE UP		VENT
	COMPRESSED AIR LINE		HIGH PRESSURE STEAM SUPPLY		PLUG VALVE		VERTICAL PENDENT TYPE WINDOM SPRINKLER HEAD
	CONDENSATE DRAINAGE		WALL HYDRANT		PRESSURE GAUGE		WATER HAMMER ARRESTOR
	CONDENSER WATER SUPPLY		HOSE BIBB		PRESSURE REDUCING VALVE WITH INLET AND OUTLET PRESSURE		WALL CLEAN OUT
	CONDENSER WATER RETURN		HOT WATER (120°) (ABOVE GRADE)		QUICK CLOSING, FUSIBLE LINK VALVE		WATER METER
	CONNECT TO EXISTING		HOT WATER (120°) (BELOW GRADE)		RAIN WATER LEADER		
	CONTROL VALVE (2-WAY)		HOT WATER (140°)		REDUCED PRESSURE BACKFLOW PREVENTOR		
	CONTROL VALVE (3-WAY)		HOT WATER RECIRCULATION PIPING (120°) (ABOVE GRADE)		ROOF DRAIN		
	COLD WATER (ABOVE GRADE)		HOT WATER RECIRCULATION PIPING (120°) (BELOW GRADE)		SIDEWALL PENDENT TYPE SPRINKLER HEAD		
	COLD WATER (BELOW GRADE)		HOT WATER HEATING SUPPLY		SANITARY SEWER LINE (ABOVE GRADE)		
	COLD WATER - HARD		HOT WATER HEATING RETURN		SANITARY SEWER LINE (BELOW GRADE)		
	EXISTING (SAN, HW, CW, ETC.)		INTERRUPTIBLE GAS PIPING		SECURITY BARS		
	FIN TUBE RADIATION		LIQUID PROPANE GAS		SNOW MELTING SYSTEM SUPPLY		

PLUMBING ABBREVIATIONS				NOTE: NOT ALL ABBREVIATIONS MAY BE USED ON THIS PROJECT			
ABBR.	DESCRIPTION	ABBR.	DESCRIPTION	ABBR.	DESCRIPTION	ABBR.	DESCRIPTION
AFF	ABOVE FINISHED FLOOR	FOS	FUEL OIL SUPPLY	NG	NATURAL GAS		
AFG	ABOVE FINISHED GRADE	FOR	FUEL OIL RETURN	OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED		
BWV	BACK WATER VALVE	FTR	FINNED TUBE RADIATION	ORWL	OVERFLOW RAIN WATER LEADER		
BV	BALL VALVE	GM	GAS METER	ORD	OVERFLOW ROOF DRAIN		
BB	BASEBOARD RADIATION	G	GAS PIPING	OX	OXYGEN PIPING		
BF	BUTTERFLY VALVE	GV	GATE VALVE	RWL	RAIN WATER LEADER		
CV	CHECK VALVE	GLV	GLOBE VALVE	RPZ	REDUCED PRESSURE BACKFLOW PREVENTOR		
CWS	CHILLED WATER SUPPLY	HPC	HIGH PRESSURE CONDENSATE	R	GAS PRESSURE REGULATOR		
CWR	CHILLED WATER RETURN	HPS	HIGH PRESSURE STEAM SUPPLY	RD	ROOF DRAIN		
CO	CLEAN OUT	H	WALL HYDRANT	SAN	SANITARY SEWER		
CA	COMPRESSED AIR	HB	HOSE BIBB	SMS	SNOW MELTING SYSTEM SUPPLY		
CD	CONDENSATE DRAIN	HWFU	HOT WATER FIXTURE UNITS	SMR	SNOW MELTING SYSTEM RETURN		
CS	CONDENSER WATER SUPPLY	HW	HOT WATER	SF	SQUARE FEET		
CR	CONDENSER WATER RETURN	HW-H	HOT WATER - HARD	SFU	SUPPLY FIXTURE UNITS		
CV	CONTROL VALVE	HWRC	HOT WATER RECIRCULATION	ST	STORM SEWER		
CW	COLD WATER	HWS	HOT WATER SUPPLY	TW	TEMPERED WATER		
CW-H	COLD WATER - HARD	HWR	HOT WATER RETURN	TYP.	TYPICAL		
CWFO	COLD WATER FIXTURE UNITS	HWV	HOT WATER VALVE	DN	DOWN		
DFU	DRAINAGE FIXTURE UNITS	IE	INVERT ELEVATION	V	VENT		
E.____	EXISTING (SAN, HW, CW, ETC.)	LPC	LOW PRESSURE CONDENSATE	VA	VACUUM LINE		
FFE	FINISH FLOOR ELEVATION	LPS	LOW PRESSURE STEAM SUPPLY	VTR	VENT THRU ROOF		
FL	FIRE LINE	LPG	LIQUID PROPANE GAS	WCO	WALL CLEAN OUT		
FCO	FLOOR CLEAN OUT	MPC	MEDIUM PRESSURE CONDENSATE	WM	WATER METER		
FD	FLOOR DRAIN	MPS	MEDIUM PRESSURE STEAM SUPPLY	YCO	YARD CLEAN OUT		

GENERAL PLUMBING NOTES

- A. THESE GENERAL NOTES SHALL APPLY TO ALL PLUMBING DRAWINGS.
- B. PLUMBING CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK AND NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES BETWEEN THE 'AS-BUILT' CONDITIONS AND THESE DRAWINGS.
- C. ALL PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH 2015 MINNESOTA PLUMBING CODE (SEE MINNESOTA RULES, CHAPTER 4714).
- D. EXISTING ITEMS TO REMAIN ARE SHOWN LIGHT. NEW ITEMS ARE SHOWN DARK.
- E. ANY WALL, FLOOR, OR CEILING SURFACE THAT IS DISTURBED DURING THE COURSE OF THIS WORK SHALL BE REPAIRED TO EXISTING OR LIKE-NEW CONDITION.
- F. COORDINATE UNDERGROUND PIPING SYSTEMS WITH FOUNDATION CONTRACTOR PRIOR TO INSTALLATION.
- G. PLUMBING CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL EQUIPMENT AND PIPING TO FIT WITHIN THE SPACE ALLOWED BY ARCHITECTURAL AND STRUCTURAL CONDITIONS. PROVIDE PIPE OFFSETS AND TRANSITIONS AS REQUIRED TO ACCOMMODATE STRUCTURE AND ARCHITECTURE. CUTTING OR OTHERWISE ALTERING STRUCTURAL MEMBERS SHALL NOT BE PERMITTED WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT.
- H. ALL PLUMBING EQUIPMENT SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
- I. A CLEANOUT SHALL BE PROVIDED AT THE BASE OF EACH WASTE OR SOIL STACK AND AS REQUIRED BY CODE.
- J. SEE PLUMBING FIXTURE SCHEDULE FOR INDIVIDUAL PLUMBING FIXTURE CONNECTION SIZE REQUIREMENTS.
- K. SEE SHEETS PXXX FOR ALL DRAIN, WASTE, VENT, AND DOMESTIC WATER PIPING ISOMETRICS.
- L. COORDINATE ALL PLUMBING PIPING AND EQUIPMENT WITH HVAC, ELECTRICAL, AND FIRE SUPPRESSION.
- M. CHANGES IN DIRECTION IN DRAINAGE PIPING MUST BE MADE BY APPROPRIATE WYES AND BENDS. SANITARY TEES ARE NOT ALLOWED WHERE THE DIRECTION OF FLOW CHANGES FROM EITHER VERTICAL TO HORIZONTAL OR HORIZONTAL TO HORIZONTAL.
- N. ALL HORIZONTAL BRANCH DRAINS SHALL BE UNIFORMLY PITCHED AT 1/4-INCH PER FOOT (SEE MINNESOTA RULES, CHAPTER 4714, SECTION 708.1).
- O. THE BUILDING SEWER MUST BE INSTALLED WITH A UNIFORM SLOPE OF AT LEAST 1/4-INCH PER FOOT (SEE MINNESOTA RULES, CHAPTER 4714, SECTION 718.1). WHERE MUNICIPAL SEWER DEPTH, STRUCTURAL FEATURES, OR BUILDING ARRANGEMENT PRECLUDE THIS SLOPE, A SLOPE OF 1/8-INCH PER FOOT MINIMUM MAY BE UTILIZED IF APPROVED BY THE AUTHORITY HAVING JURISDICTION.
- P. PLUMBING DESIGN SHALL COMPLY WITH MINNESOTA RULES, CHAPTER 4714, SECTION 711.0 REGARDING SUDS RELIEF.
- Q. ALL SINKS, EXCEPT FOR LAVATORIES AND PRIVATE-USE BAR SINKS, MUST BE PROVIDED WITH 2-INCH MINIMUM VERTICAL FIXTURE DRAINS (SEE MINNESOTA RULES, CHAPTER 4714, TABLES 702.1 AND 703.2). LAUNDRY TUBS, DOMESTIC CLOTHES WASHERS, AND URINALS REQUIRE 2-INCH MINIMUM VERTICAL DRAINS.
- R. WATER SUPPLY CONNECTIONS TO FIXTURES OR EQUIPMENT WHICH HAVE INLETS BELOW THE SPILL LINE MUST BE PROVIDED WITH AN APPROVED BACKFLOW PREVENTER (SEE MINNESOTA RULES, CHAPTER 4714, SECTION 602.3).
- S. DOMESTIC TYPE DISHWASHERS MUST DISCHARGE INDIRECTLY THROUGH AN ASSE 1021 OR IAPMO PS23-2006A LISTED AIR GAP FITTING (SEE MINNESOTA RULES, CHAPTER 4714, SECTION 414.3 AND 807.4). THE DISCHARGE MAY BE ROUTED TO A WASTE RECEPTOR, TO A WYE BRANCH FITTING ON A KITCHEN SINK TAILPIECE, OR TO THE DRAINAGE CONNECTION OF A FOOD WASTE GRINDER. IF DISCHARGING TO A SINK TAILPIECE OR FOOD WASTE GRINDER, THE FLOOD LEVEL MARKING ON THE AIR GAP FITTING MUST BE AT OR ABOVE THE FLOOD LEVEL OF THE SINK OR DRAINBOARD, WHICHEVER IS HIGHER.
- T. ELEVATOR PIT DRAINS MUST BE DESIGNED TO DRAIN DRY AND MUST DISCHARGE INDIRECTLY TO THE SANITARY SEWER BY A CONNECTION PRECLUDING SEWAGE BACKUP INTO THE PIT (SEE MINNESOTA RULES, CHAPTER 4714, SECTIONS 418.6 AND 710.4).
- U. THE CONNECTION TO AN AUTOMATIC CLOTHES WASHER MUST BE PROTECTED BY THE USE OF AN AIR GAP OR AN APPROVED BACKFLOW PREVENTER (SEE MINNESOTA RULES, CHAPTER 4714, SECTION 602.3). A CLOTHES WASHER MUST DISCHARGE INDIRECTLY TO A STANDPIPE OR LAUNDRY TUB (SEE MINNESOTA RULES, CHAPTER 4714, TABLE 702.1 AND SECTION 804.1).
- V. IN NO CASE SHALL WATER FROM A ROOF BE ALLOWED TO FLOW UPON THE PUBLIC SIDEWALK (SEE MINNESOTA RULES, CHAPTER 4714, SECTION 1101.1).
- W. INSTALL CLEANOUTS LOCATED IN SIDEWALK, PAVED OR GREEN AREAS FLUSH WITH FINAL FINISHED SURFACE.
- X. WALL HYDRANTS MUST MEET ASSE STANDARD 1019 (SEE MINNESOTA RULES, CHAPTER 4714, TABLE 603.2).
- Y. FIXTURE VENTS MUST RISE WITHIN 45-DEGREES FROM THE VERTICAL AT LEAST 6-INCHES ABOVE THE FLOOD LEVEL BEFORE OFFSETTING HORIZONTALLY OR CONNECTING TO A BRANCH VENT (SEE MINNESOTA RULES, CHAPTER 4714, SECTION 905.3).
- Z. ALL ISOLATION VALVES SHALL BE LOCATED IN ACCESSIBLE LOCATIONS.
- AA. LOCATE GAUGES AND THERMOMETERS FOR EASE OF OBSERVATION.
- BB. VALVES SHALL BE INSTALLED PERMITTING THE WATER SUPPLY TO EACH ROOM OR INDIVIDUAL FIXTURE TO BE SHUT OFF WITHOUT DISRUPTING ANY OTHER PORTION OF THE BUILDING.
- CC. PROVIDE ACCESS PANELS IN NON-ACCESSIBLE CEILINGS AND IN WALL STRUCTURES TO ALLOW ADEQUATE ROOM FOR MAINTENANCE OF EQUIPMENT AND BALANCING OF SYSTEMS. COORDINATE EXACT SIZES AND LOCATIONS OF ACCESS PANELS WITH ARCHITECT DURING THE SHOP DRAWING PROCESS.
- DD. PROVIDE HWRC BALANCING ASSEMBLIES AS REQUIRED TO MAINTAIN DOMESTIC HOT WATER FLOW TO ALL APPLICABLE PLUMBING FIXTURES AND AS SHOWN ON DRAWINGS.
- EE. INSULATE PIPING PER ENERGY CODE REQUIREMENTS.
- FF. VERIFY PLUMBING FIXTURE LOCATIONS AND MOUNTING HEIGHTS WITH ARCHITECT AND OWNER PRIOR TO ROUGH-IN AND INSTALLATION.
- GG. PLUMBING WORK SHALL NOT BE LOCATED OVER ELECTRICAL EQUIPMENT OR PANELS. COORDINATE WITH ELECTRICAL CONTRACTOR TO MAINTAIN ALL CODE REQUIRED ELECTRICAL CLEARANCES.
- HH. PAINT ALL VTR'S FLAT BLACK AND TERMINATE NOT LESS THAN 12-INCHES ABOVE ROOF.
- II. OFFSET VENT PIPING AS NEEDED TO BE LOCATED A MINIMUM OF 10- FEET AWAY OR 3- FEET ABOVE OUTSIDE AIR INTAKES AND AS REQUIRED BY CODE.
- JJ. A BUILDING'S VENT PIPES MUST HAVE A TOTAL CROSS-SECTIONAL AREA NOT LESS THAN THE AREA OF THE LARGEST REQUIRED BUILDIN SEWER (SEE MINNESOTA RULES, CHAPTER 4714, SECTION 904.1). VERIFY THAT THIS REQUIREMENT IS MET.
- KK. FLASH AND SEAL ALL ROOF PENETRATIONS TO MAKE WATERTIGHT.
- LL. THE WATER DISTRIBUTION SYSTEM SHALL BE DISINFECTED PER MINNESOTA RULES, CHAPTER 4714, SECTION 609.9.
- MM. THE PLUMBING SYSTEM SHALL BE TESTED IN ACCORDANCE WITH MINNESOTA RULES, CHAPTER 4714, SECTIONS 609.4, 712.0, AND 1109.0.
- NN. ALL PLUMBING SYSTEMS SHALL COMPLY WITH THE CURRENT MINNESOTA COMMERCIAL ENERGY CODE. COMPLIANCE PATH SHALL BE VIA 2018 IECC UNLESS NOTED OTHERWISE.
- OO. VERIFY THAT THE EXISTING DRAIN, WASTE, VENT AND DOMESTIC WATER SYSTEMS ARE SIZED TO ACCOMMODATE THE ADDED FIXTURES.
- PP. IT IS RECOMMENDED THAT A CLEANOUT BE PROVIDED WHERE NEW WASTE AND VENT PIPING CONNECTS WITH EXISTING PLUMBING TO FACILITATE REQUIRED TESTING OF THE NEW INSTALLATION.
- QQ. THE ALTERATION AND REUSE OF EXISTING PLUMBING IS NOT ALLOWED UNLESS IT MEETS THE CURRENT RULES SET FORTH IN THE MINNESOTA PLUMBING CODE (SEE MINNESOTA RULES, CHAPTER 4714.0101, SUBPARTS 2 AND 3).
- RR. REFER TO ARCHITECTURAL DRAWINGS FOR ALTERNATES AND PHASING OF CONSTRUCTION WORK.

GENERAL PLUMBING DEMO NOTES

- A. THESE GENERAL DEMOLITION NOTES SHALL APPLY TO ALL PLUMBING DEMOLITION DRAWINGS.
- B. DEMOLITION DRAWINGS ARE DIAGRAMMATIC AND ARE BASED ON LIMITED FIELD OBSERVATIONS AND EXISTING RECORD DRAWINGS. PLUMBING CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK AND NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES BETWEEN THE 'AS-BUILT' CONDITIONS AND THESE DRAWINGS. PROVIDE ADDITIONAL DEMOLITION AS REQUIRED BASED ON ACTUAL FIELD CONDITIONS.
- C. ALL DEMOLITION WORK SHALL BE PERFORMED WITH DUE CARE AND DILIGENCE TO PREVENT THE UNNECESSARY DESTRUCTION AND/OR DAMAGE TO SYSTEMS THAT SHALL REMAIN IN OPERATION AFTER THIS WORK.
- D. ALL HATCHED ITEMS DEVOTE REMOVAL OR RELOCATION.
- E. EXISTING INSULATION DAMAGED DURING DEMOLITION OR CONSTRUCTION ACTIVITIES SHALL BE REPAIRED WITH SIMILAR MATERIALS.
- F. ALL OPENINGS THROUGH WALLS AND FLOOR SLABS NOT BEING RESUED SHALL BE PATCHED WITH LIKE MATERIALS TO MATCH EXISTING. WHERE FIRE RATED ASSEMBLIES ARE OPENED, CUT, OR OTHERWISE DAMAGED THEY SHALL BE REPAIRED AND SEALED.
- G. ALL OPENINGS THROUGH ROOF NOT BEING REUSED SHALL BE PATCHED WITH LIKE MATERIALS AND SEALED WATERTIGHT.
- H. PLUMBING CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND RE-INSTALLATION OF EXISTING CEILING TILES NOT REMOVED BY THE GENERAL CONTRACTOR. REFER TO ARCHITECTURAL PLANS FOR EXTENT OF CEILING WORK BY THE GENERAL CONTRACTOR. PLUMBING CONTRACTOR SHALL REPLACE ANY EXISTING CEILING TILES OR GRIDS DAMAGED DURING CONSTRUCTION.
- I. RELOCATE AS NECESSARY ANY EXISTING DRAIN, WASTE, VENT, AND DOMESTIC WATER PIPING FOUND PASSING THROUGH THE AREA OF CONSTRUCTION WHICH PRESENTLY SERVE OTHER PORTIONS OF THE BUILDING UNAFFECTED BY THIS PROJECT IN ORDER TO MAINTAIN THE CONTINUITY OF EXISTING SYSTEMS AND TO CONCEAL THEM ABOVE NEW CEILINGS.
- J. ANY EXISTING DRAIN, WASTE, VENT, AND DOMESTIC WATER PIPING WHICH IS WITHIN THE AREA OF CONSTRUCTION AND SHOWN TO REMAIN BUT FOUND TO BE DAMAGED SHALL BE REPLACED WITH NEW MATERIALS CONFORMING TO THESE CONTRACT DOCUMENTS.
- K. ALL EQUIPMENT, DEVICES, AND MATERIALS REMOVED DURING DEMOLITION WORK AND NOT INDICATED TO BE REUSED OR TURNED OVER TO THE OWNER SHALL BECOME THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR FOR DISPOSAL.
- L. WHERE PIPING IS SHOWN TO BE DEMOLISHED, IT SHALL BE REMOVED BACK TO THE PIPE MAINS AND CAPPED AT THAT POINT UNLESS NOTED OTHERWISE.
- M. RELOCATE, MODIFY, AND/OR RE-ROUTE EXISTING VENT PIPING AND VTR'S AS REQUIRED TO ACCOMMODATE NEW ROOF MOUNTED MECHANICAL EQUIPMENT. COORDINATE WITH DIVISION 23 AND ROOFING CONTRACTOR.
- N. REFER TO ARCHITECTURAL DRAWINGS FOR ALTERNATES AND PHASING OF CONSTRUCTION WORK.
- O. THE GENERAL DESIGN INTENT IS FOR ALL EXISTING GALVANIZED DOMESTIC WATER PIPING TO BE REMOVED AND REPLACED UNLESS NOTED OTHERWISE.

PLUMBING DRAWING LIST

SHEET NUMBER	SHEET NAME
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PLUMBING

P0.01	PLUMBING SYMBOLS AND LEGEND
P1.01	PLUMBING DEMO PLANS
P2.01	PLUMBING RENOVATION PLANS
P3.01	PLUMBING ISOMETRICS
P7.01	PLUMBING DETAILS
P8.01	PLUMBING SCHEDULES

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PLUMBING SYMBOLS AND LEGEND



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DATE: 09/28/21 LICENSE #: 26118

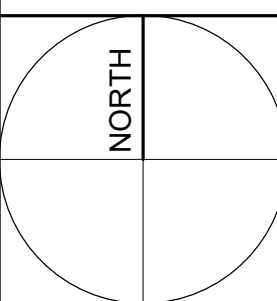
Revision Schedule

Revision Number	Revision Description	Revision Date
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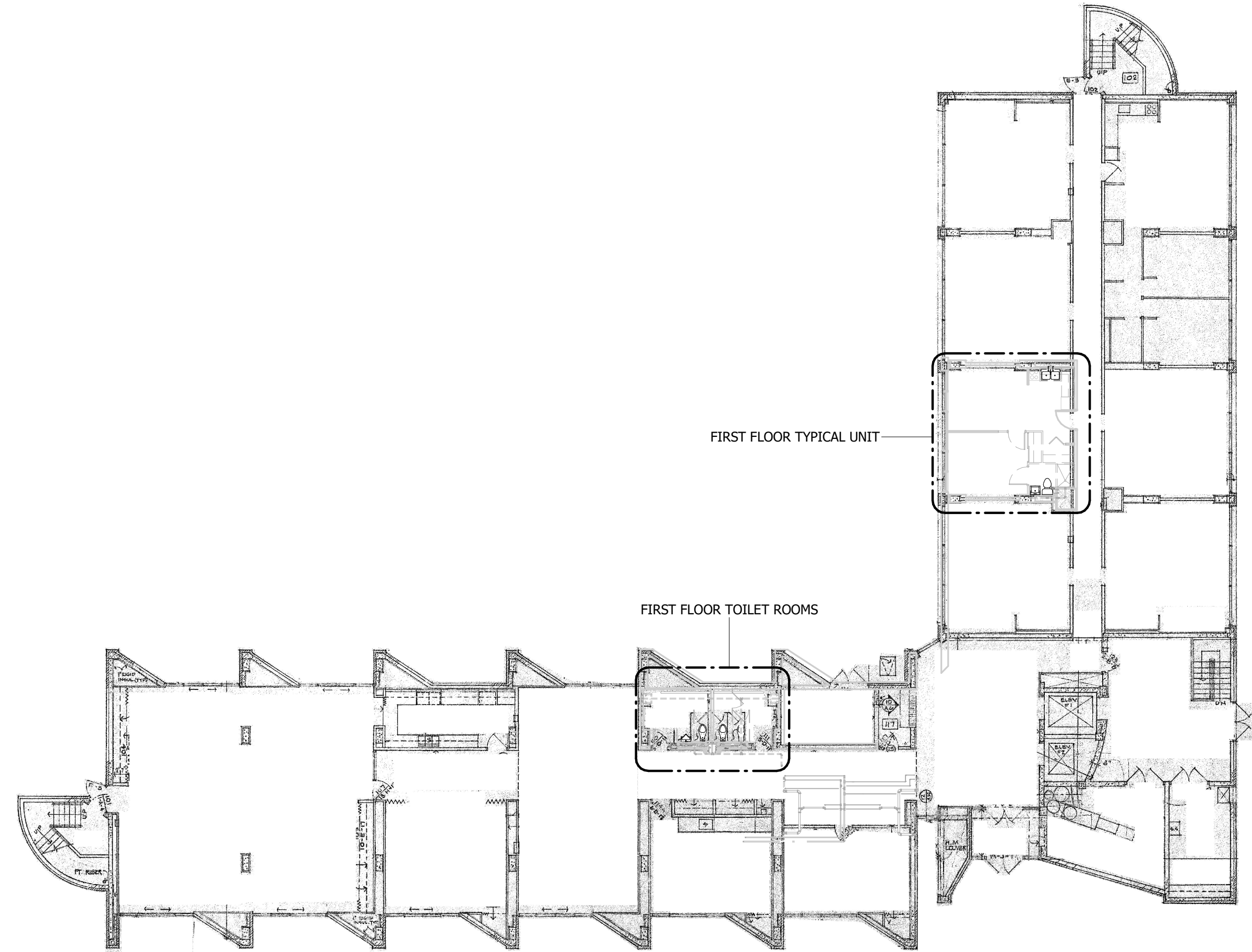
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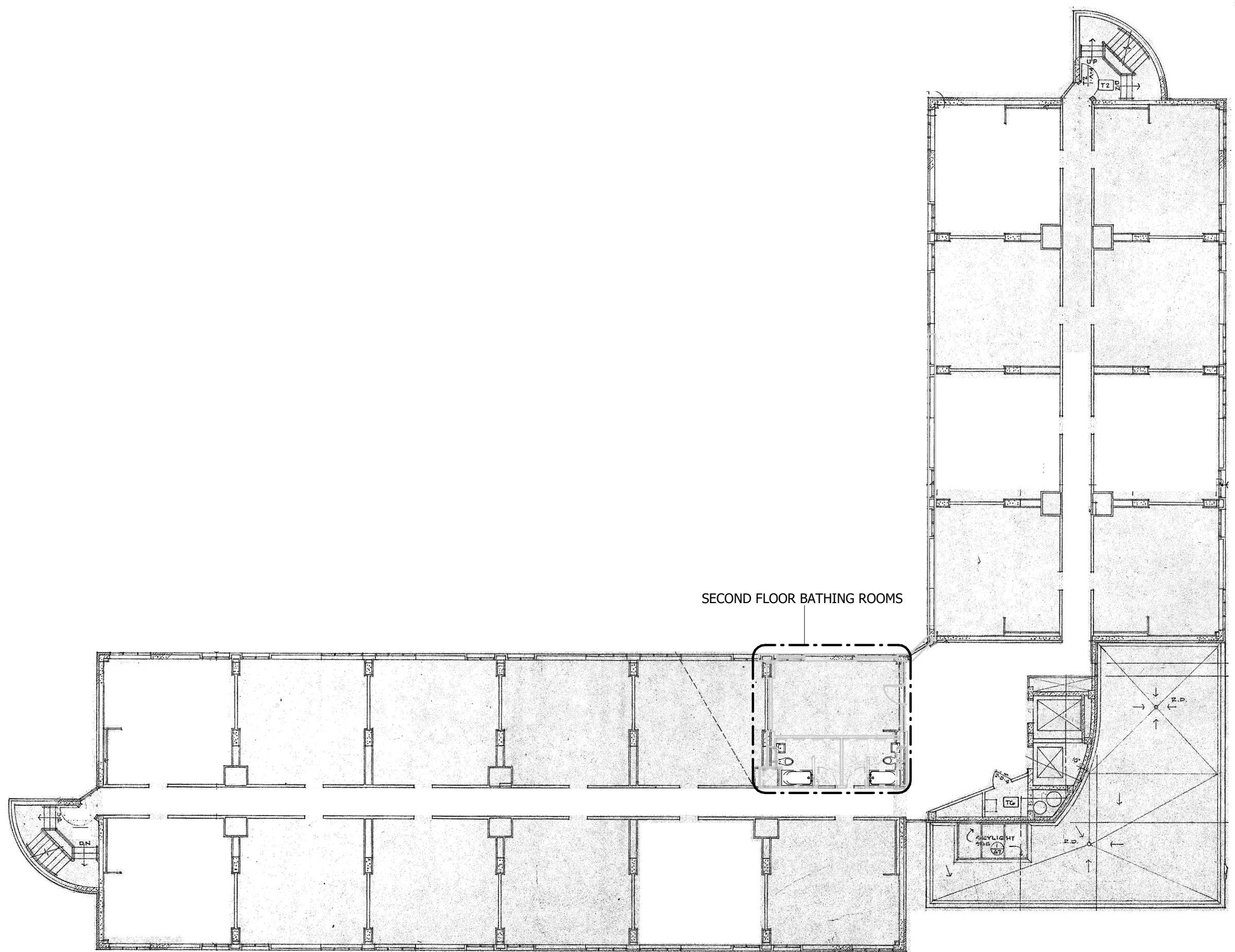
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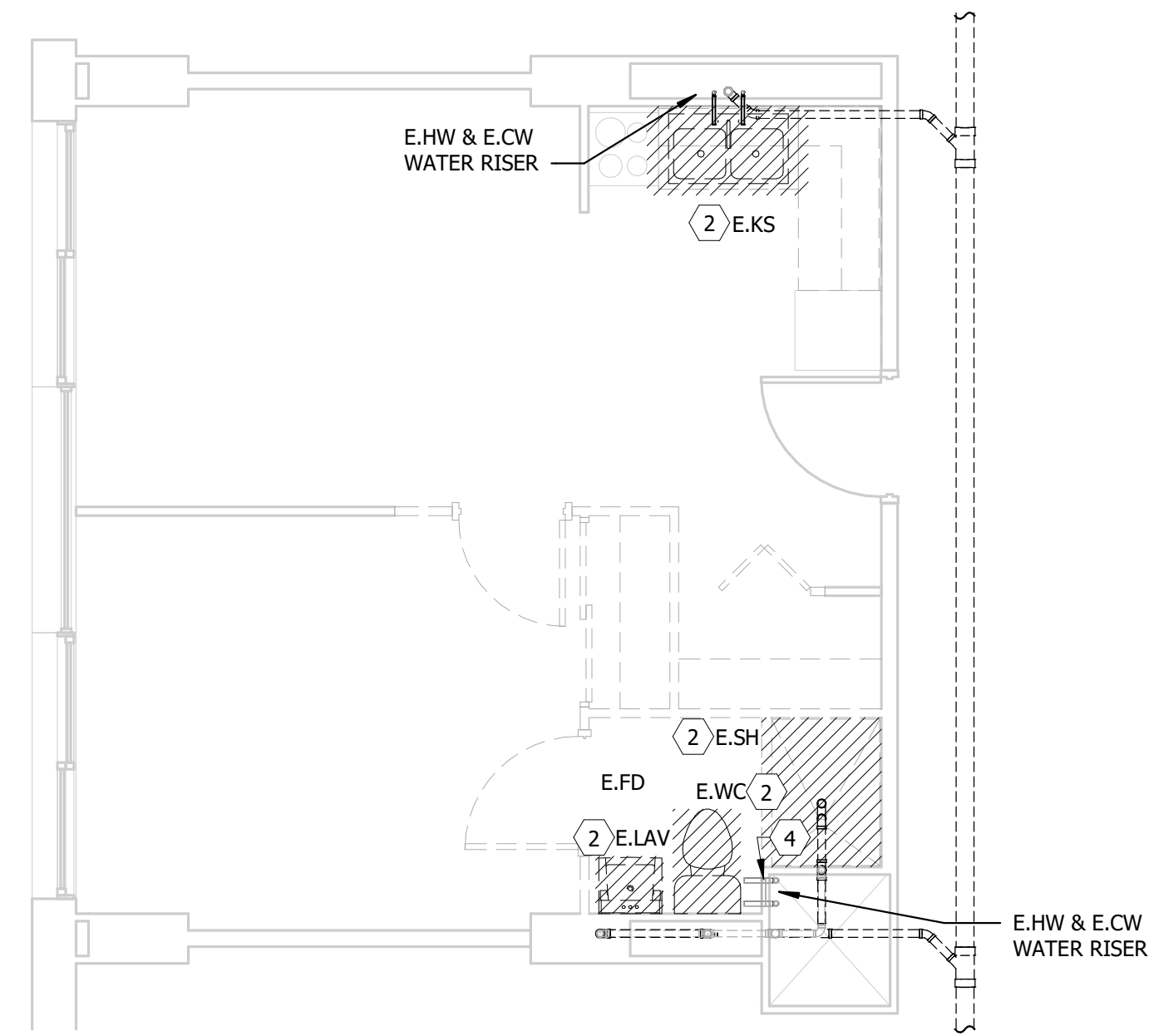
1 LEVEL 1 PLUMBING DEMOLITION PLAN

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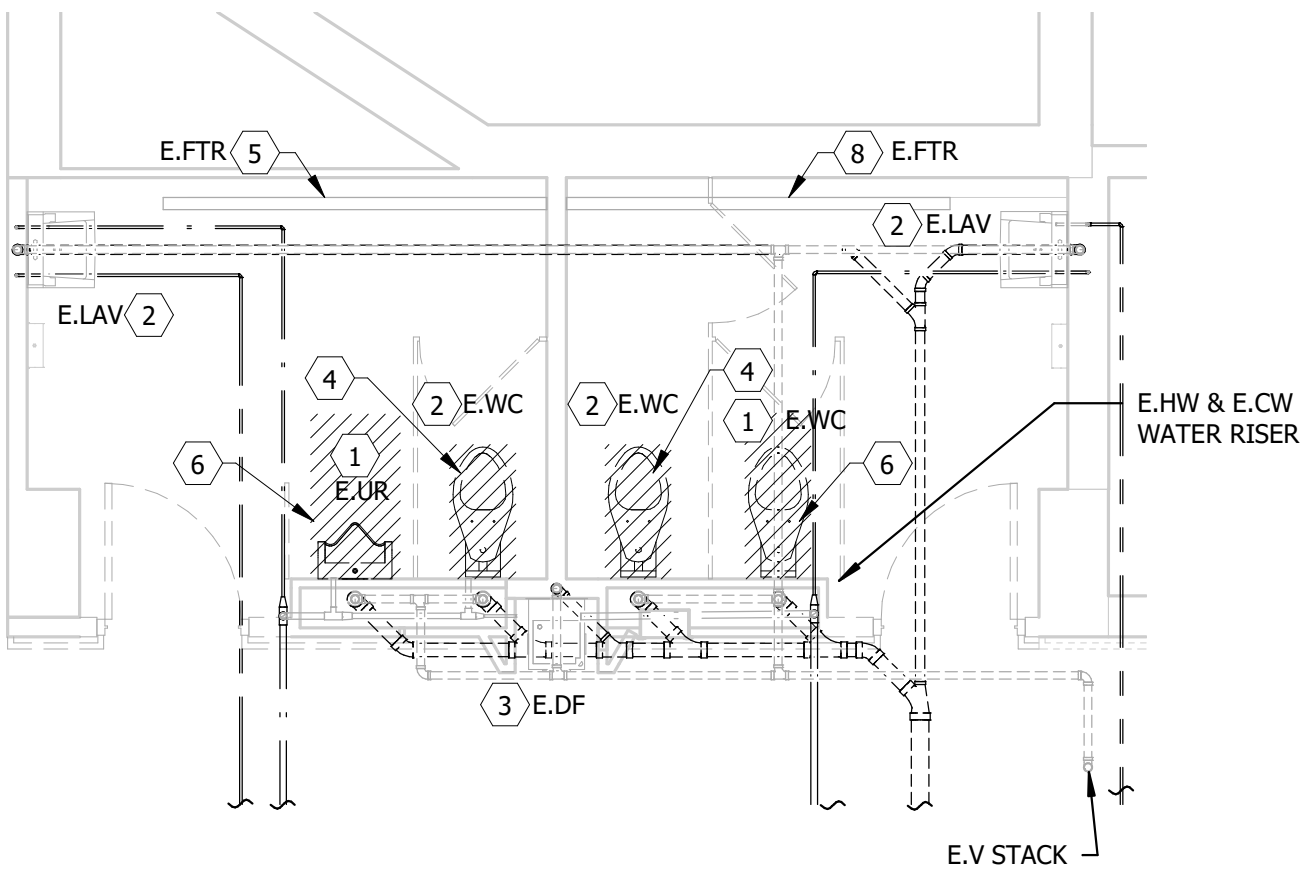
4 LEVEL 2 PLUMBING DEMOLITION PLAN

0 8' 16' 32'



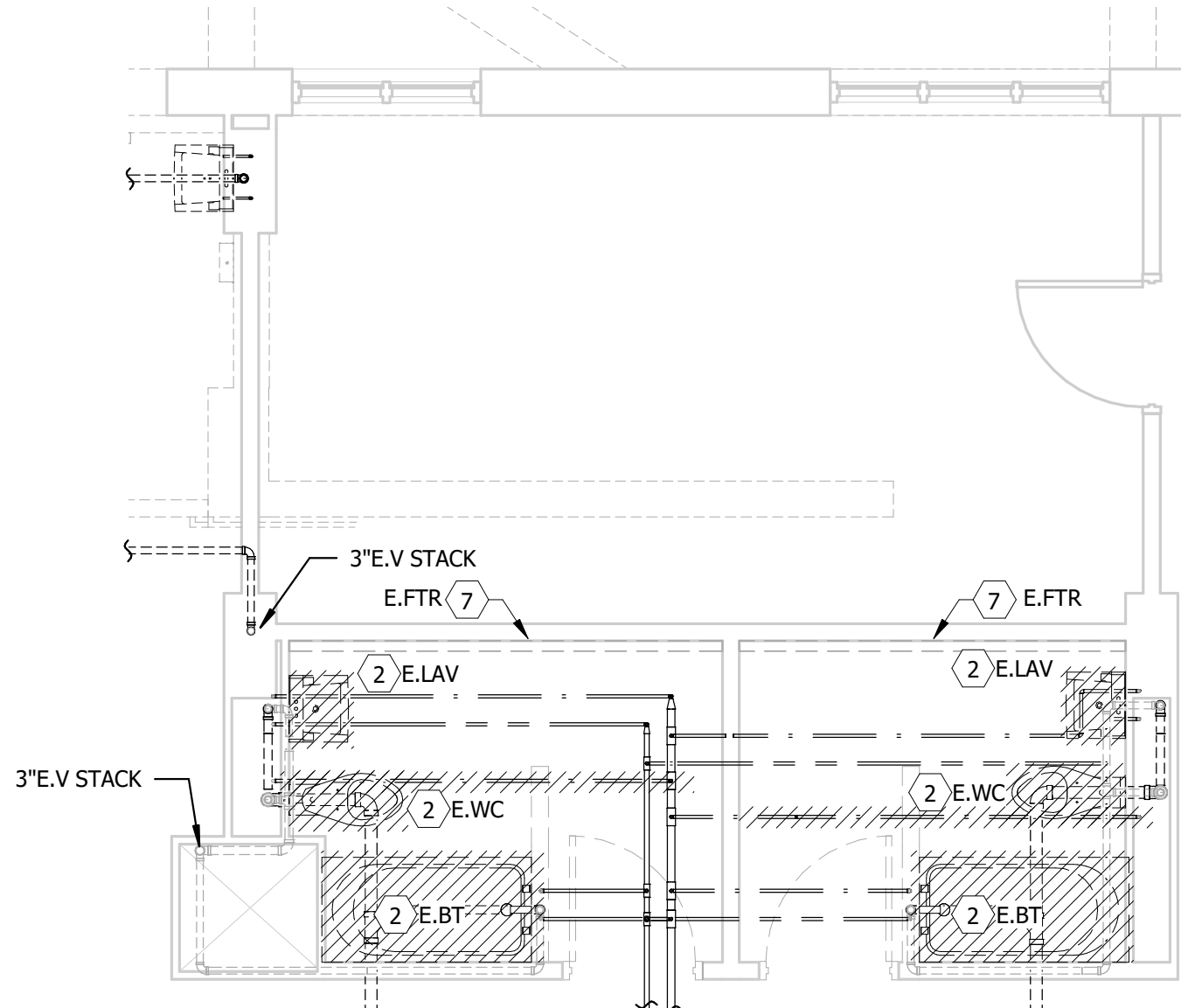
3 DEMOLITION PLUMBING PLAN - FIRST FLOOR TYPICAL UNIT (6 THUS)

0 2' 4' 8'



2 DEMOLITION PLUMBING PLAN - FIRST FLOOR TOILETS

0 2' 4' 8'



5 DEMOLITION PLUMBING PLAN - SECOND FLOOR BATHING

0 2' 4' 8'

KEYNOTES

1. DEMO EXISTING PLUMBING FIXTURE AND ASSOCIATED PIPING. PIPING SHALL BE CAPPED BELOW FLOOR AND/OR BEHIND WALLS AT LIMITS OF DEMOLITION. PATCH TO MATCH EXISTING.
2. DEMO EXISTING PLUMBING FIXTURE AND ASSOCIATED PIPING. ALL EXPOSED GALVANIZED PIPING IN WALLS TO BE REPLACED. RE-ROUTE PIPING AS NEEDED FOR NEW CONNECTION TO NEW PLUMBING FIXTURE AND TO MEET ADA REQUIREMENTS.
3. EXISTING PLUMBING FIXTURE TO REMAIN.
4. DEMO EXISTING EXHAUST GRILLE.
5. REMOVE INACTIVE FTR COVER AND MODIFY TO PROVIDE END CAP ADJACENT TO ACTIVE FTR.
6. EXTENT OF ANTICIPATED FLOOR CUTTING REQUIRED FOR INSTALLTION OF NEW FLOOR DRAINS IN EACH RESTROOM.
7. EXISTING FTR TO REMOVED. COORDINATE CORE-DRILLING AND PIPING MODIFICATIONS WITH RENOVATION LAYOUT.
8. EXISTING FTR TO REMAIN. PAINT AND RE-FINISH EXISTING FTR COVER AND RE-INSTALL.

Revision Schedule

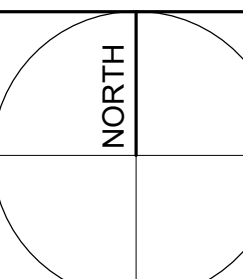
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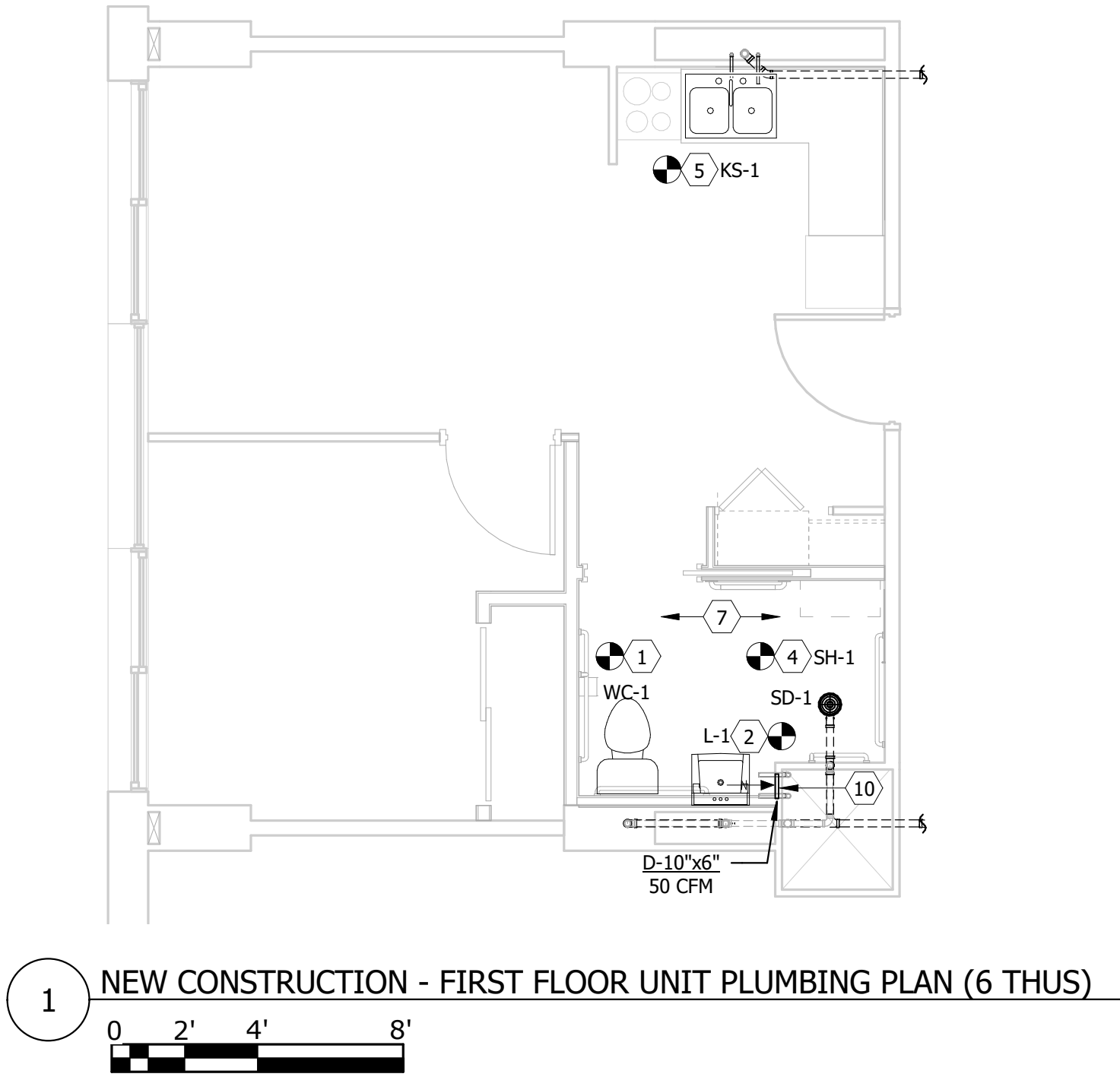
HRA ACCESSIBILITY IMPROVEMENTS

WILSON APARTMENTS

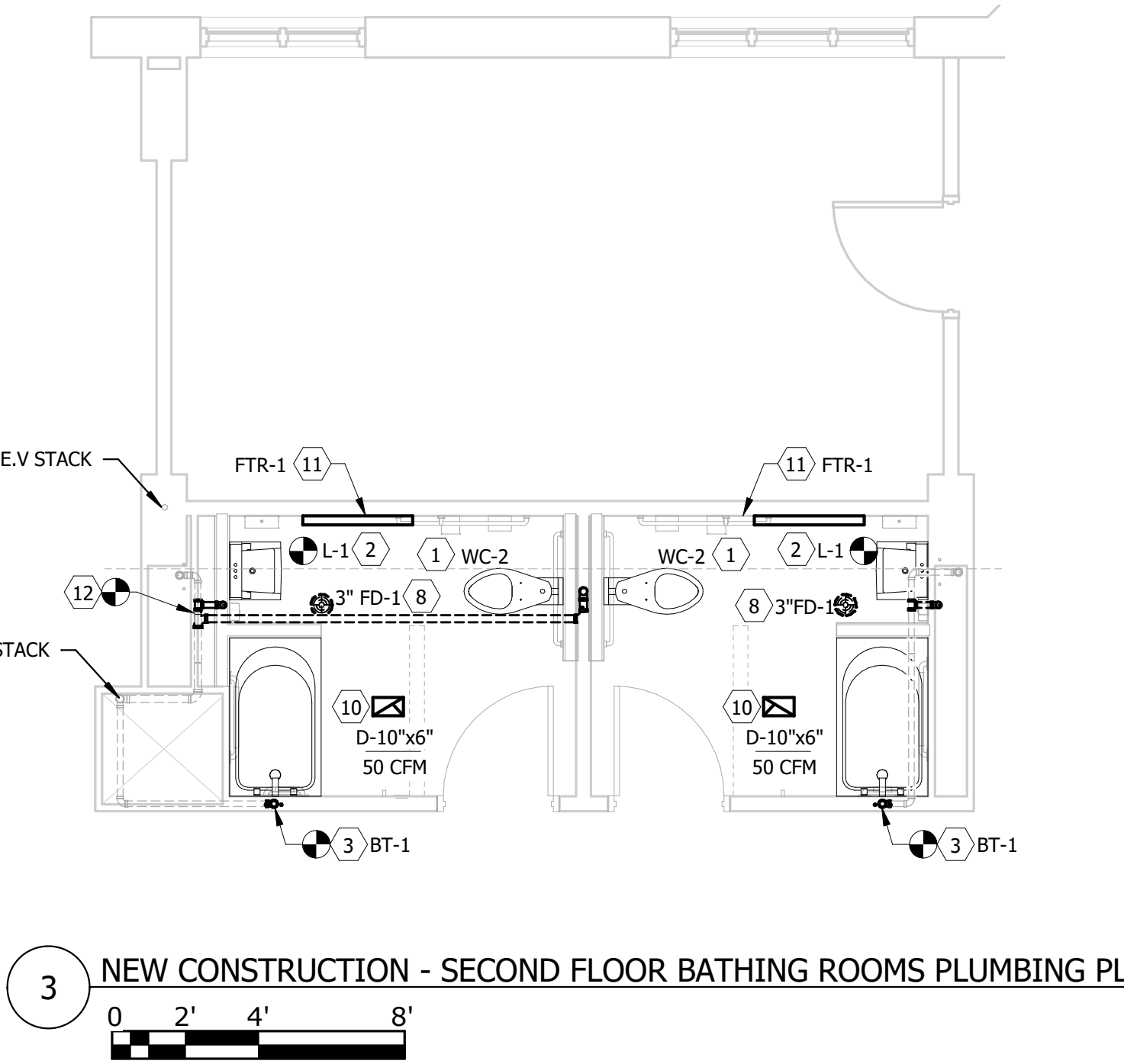
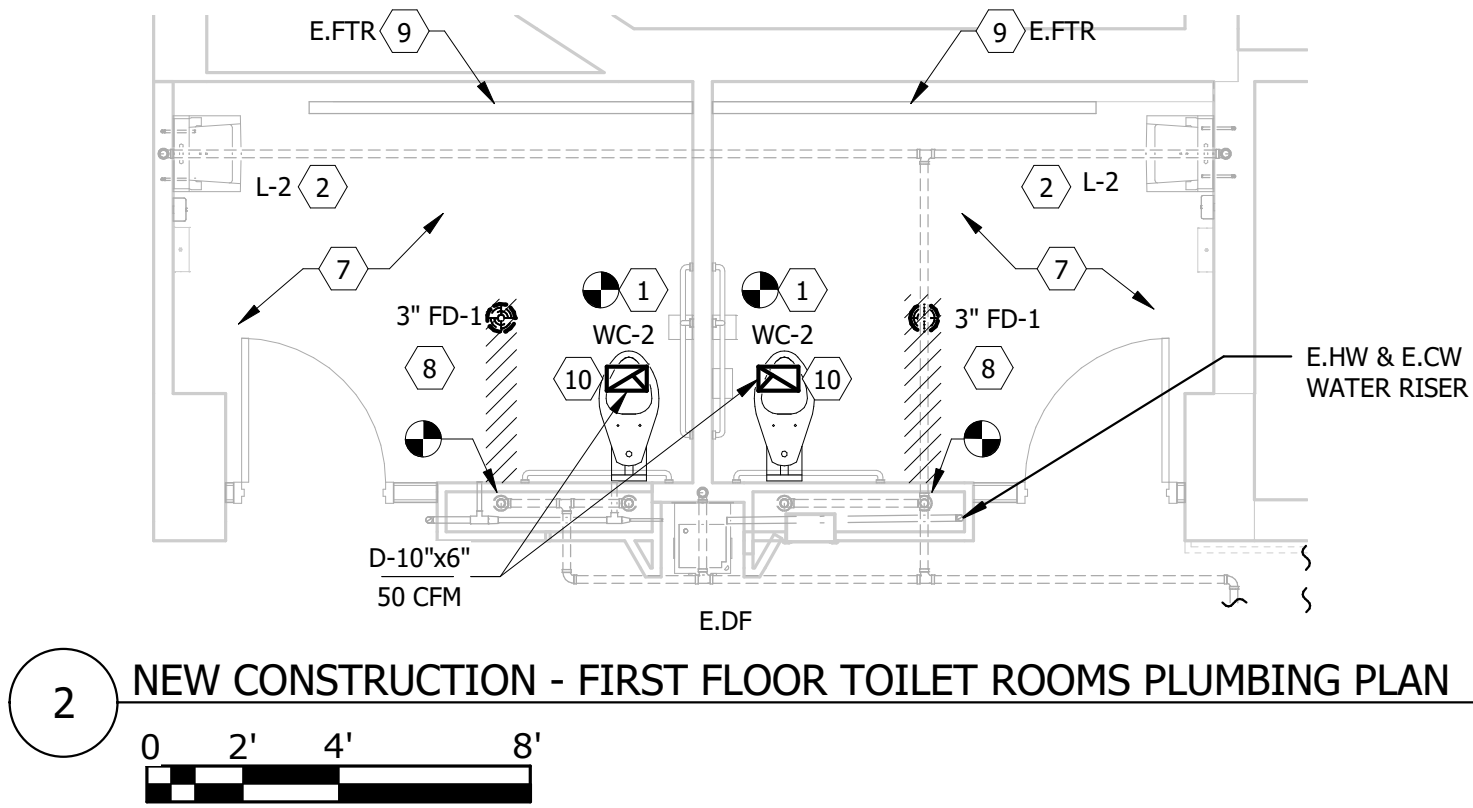
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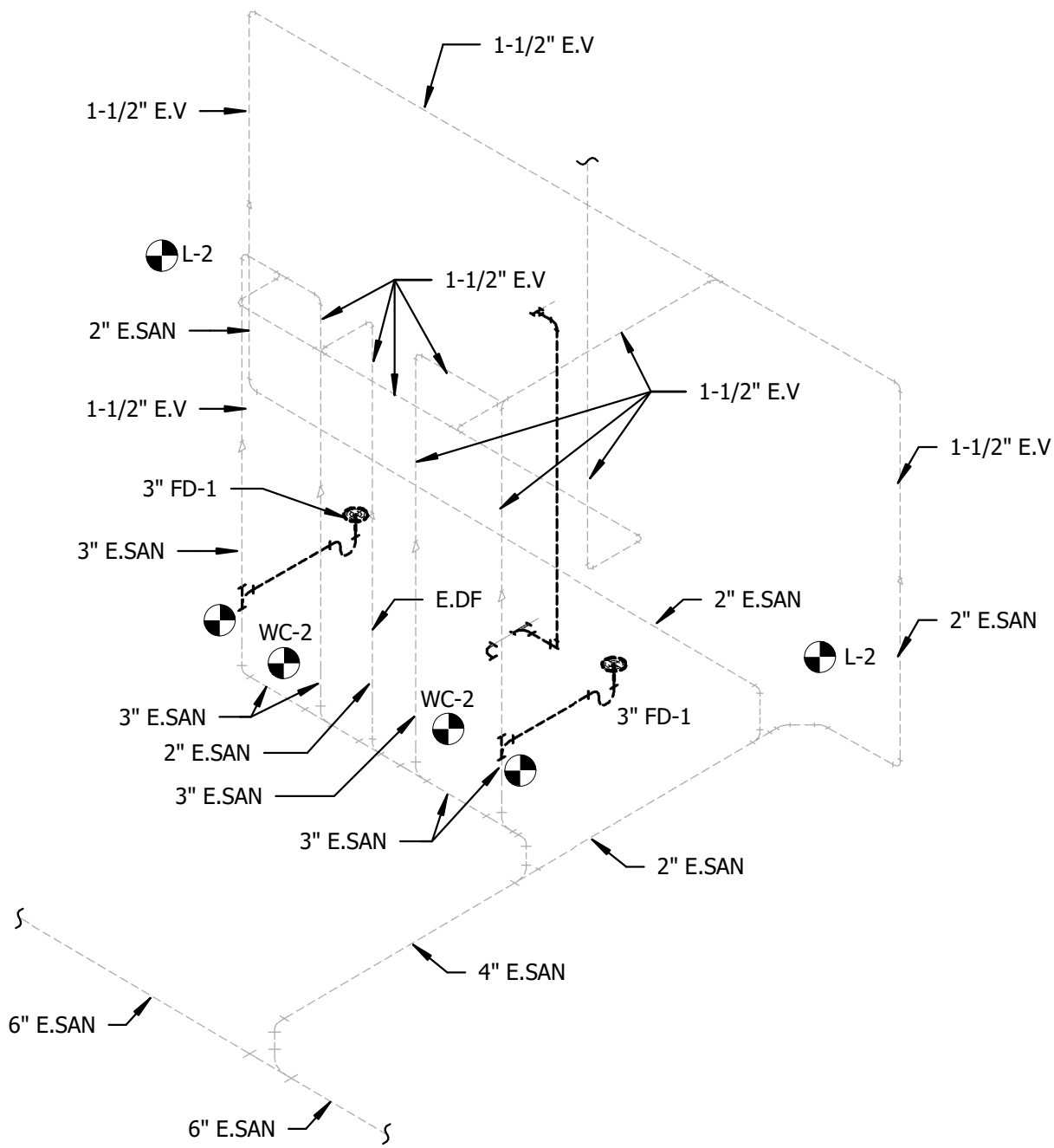
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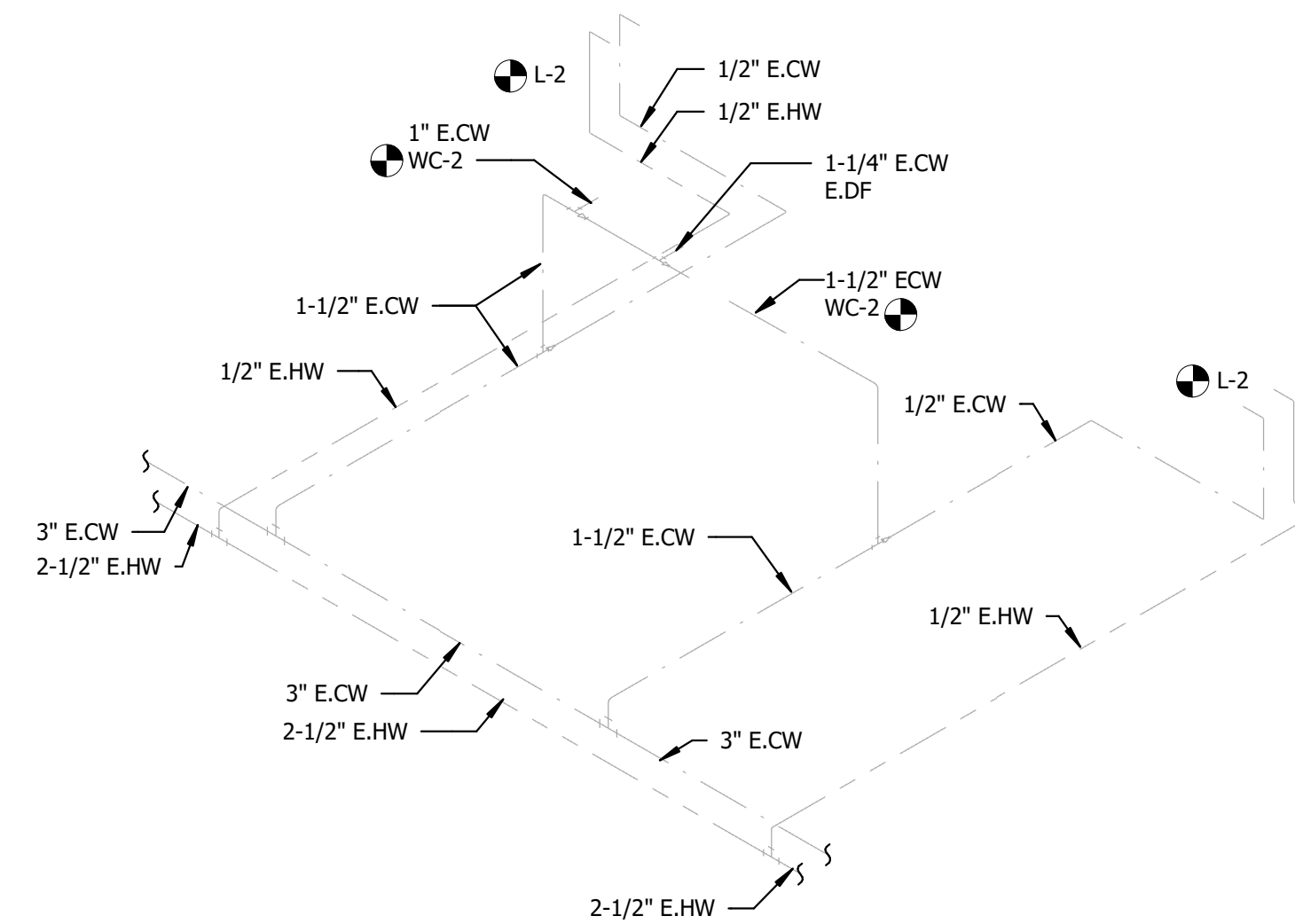


- KEYNOTES
1. CONNECT NEW WATER CLOSET TO 4"E.SAN, 2"E.V, 1 1/4"E.CW. FIELD VERIFY SIZE AND LOCATION.
 2. CONNECT NEW LAVATORY TO 2"E.SAN, 1 1/2"E.V, 1/2"E.HW&CW. FIELD VERIFY SIZE AND LOCATION.
 3. CONNECT NEW BATH TUB TO 2"E.SAN, 1 1/2"E.V, 1/2"E.HW&CW. FIELD VERIFY SIZE AND LOCATION.
 4. CONNECT NEW SHOWER TO 2"E.SAN, 1 1/2"E.V, 1/2"E.HW&CW. FIELD VERIFY SIZE AND LOCATION.
 5. CONNECT NEW KITCHEN SINK TO 2"E.SAN, 1 1/2"E.V, 1/2"E.HW&CW. FIELD VERIFY SIZE AND LOCATION.
 6. NOT USED.
 7. REROUTE FIRE SUPPRESSION PIPING AND HEADS AS NEEDED FOR REMODELED AREA. REFER TO FIRE SUPPRESSION SPECIFICATIONS.
 8. CONNECT NEW FLOOR DRAIN TO EXISTING SANITARY AND VENT PIPING. FIELD VERIFY LOCATION. COORDINATE FLOOR CUTTING AND PATCHING WITH ARCHITECTURAL AS REQUIRED.
 9. REINSTALL EXISTING FTR COVER FOLLOWING REFINISHING / REPAINTING.
 10. CONNECT NEW TYPE 10"x6" EXHAUST GRILLES TO EXISTING EXHAUST DUCTWORK (SIDEWALL OR CEILING).
 11. PROVIDE NEW FTR-1 AS SCHEDULED. CORE-DRILL NEW HWS & HWR PIPING FROM 1ST LEVEL AS NEEDED TO ACCOMMODATE NEW FTR LOCATION. MODIFY EXISTING PIPING TO MAINTAIN ADA CLEARANCES FROM ALL NEW PLUMBING FIXTURES. COORDINATE WITH ARCHITECTURAL.
 12. COORDINATE ROUTING OF VENT PIPING ABOVE CEILING AND CEILING DEMOLITION WITH ARCHITECTURAL.

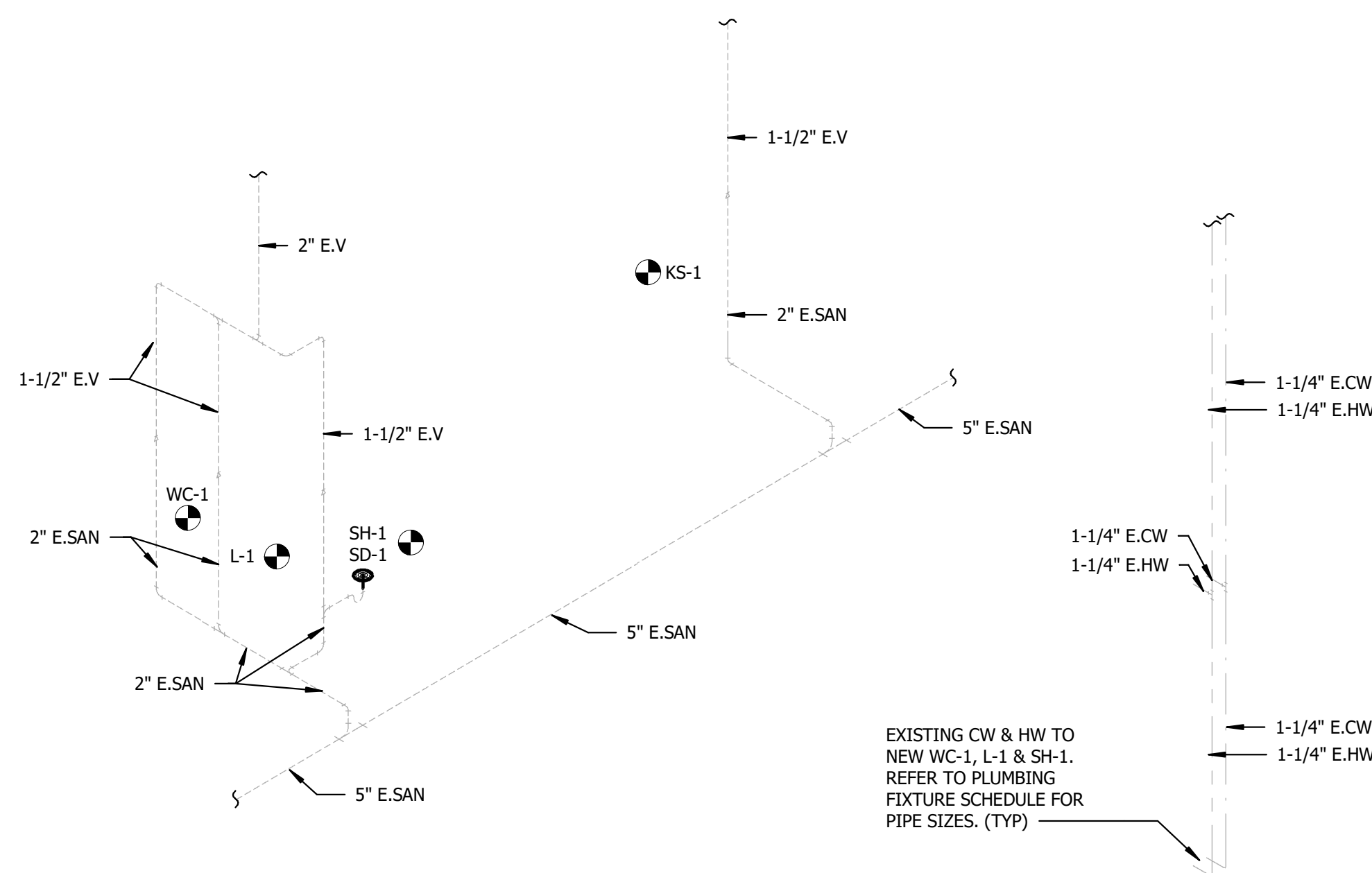




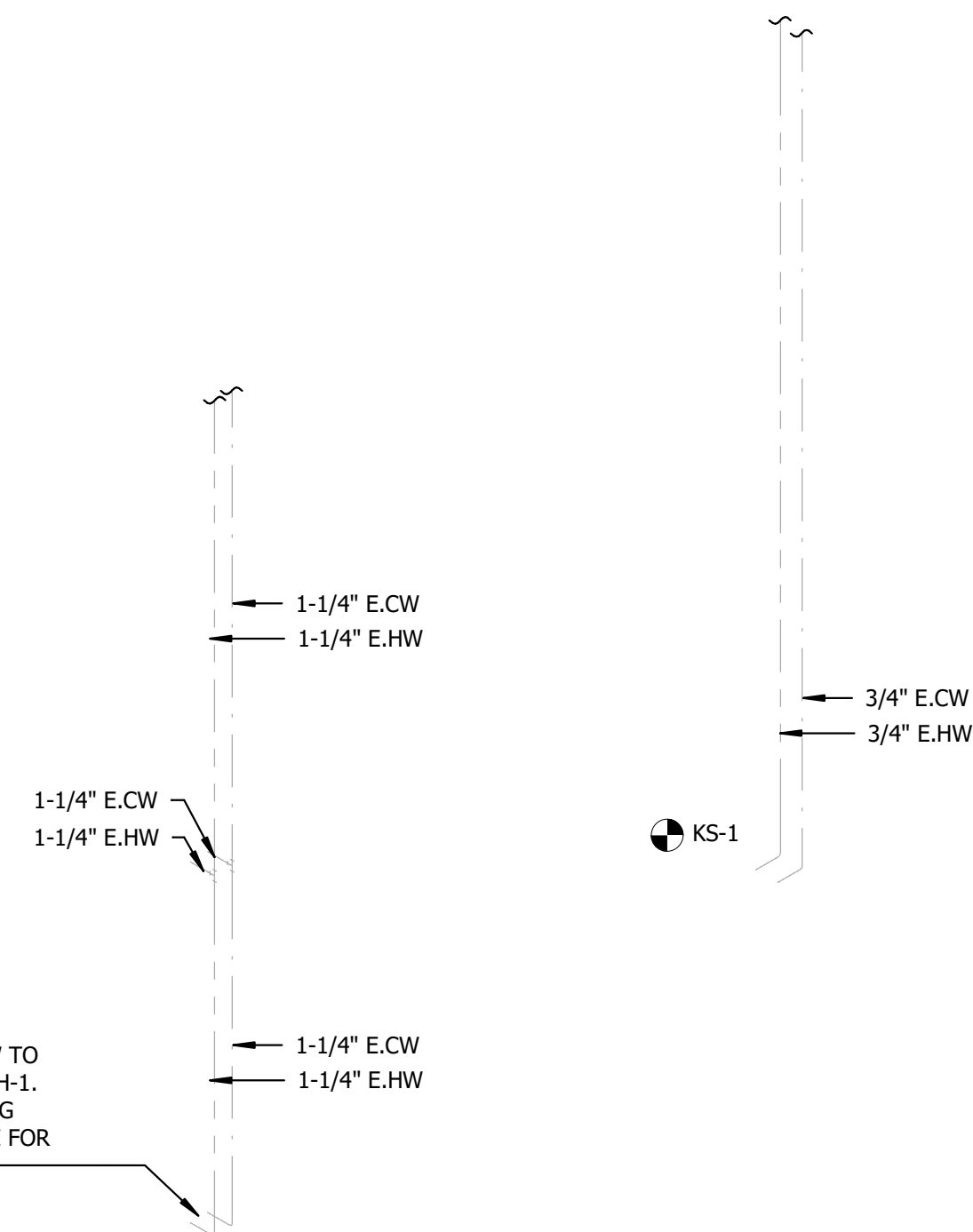
1 DETAIL - DWV ISOMETRIC - FIRST FLOOR TOILET ROOMS
NO SCALE



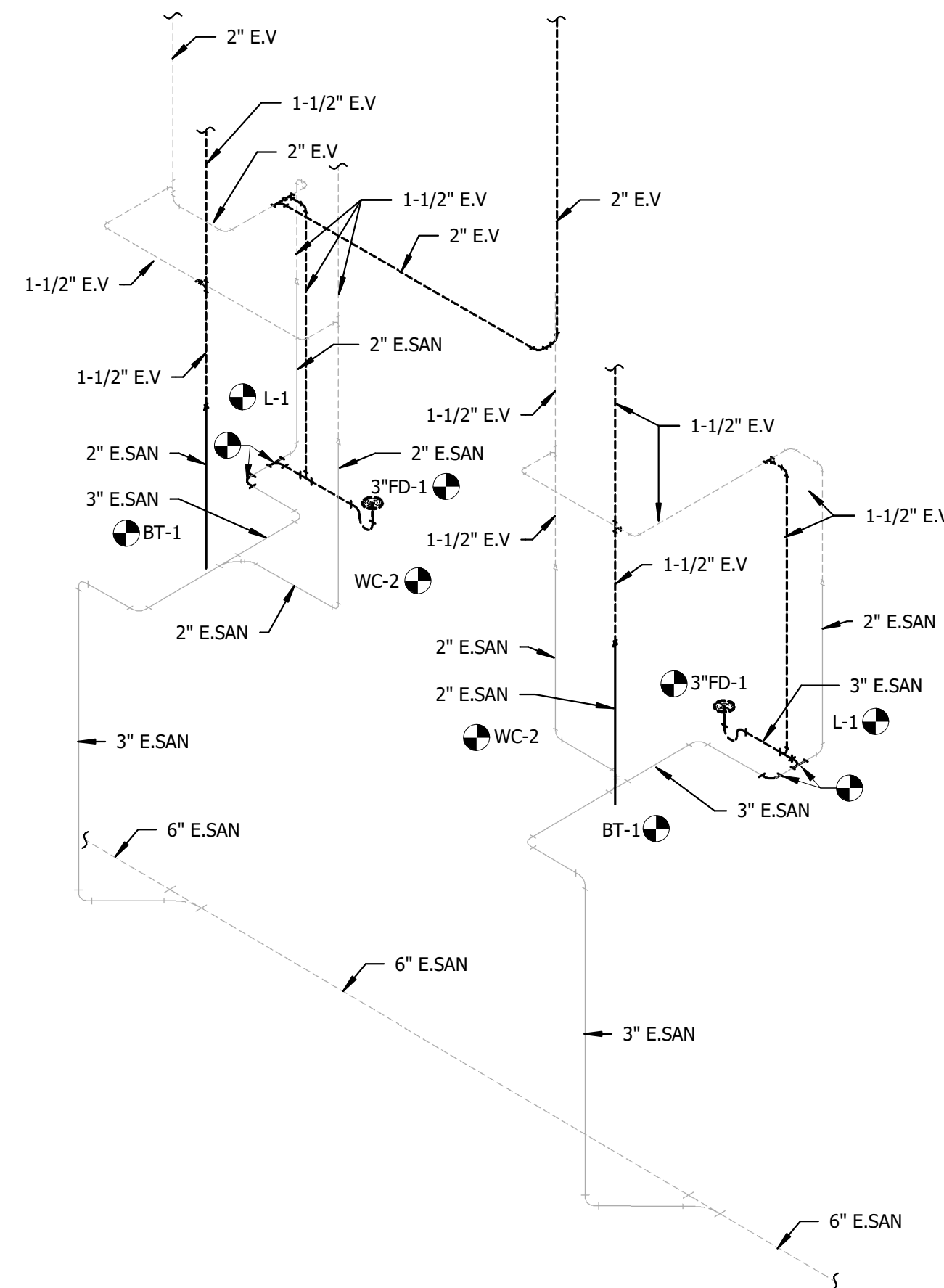
2 DETAIL - WATER ISOMETRIC - FIRST FLOOR TOILET ROOMS
NO SCALE



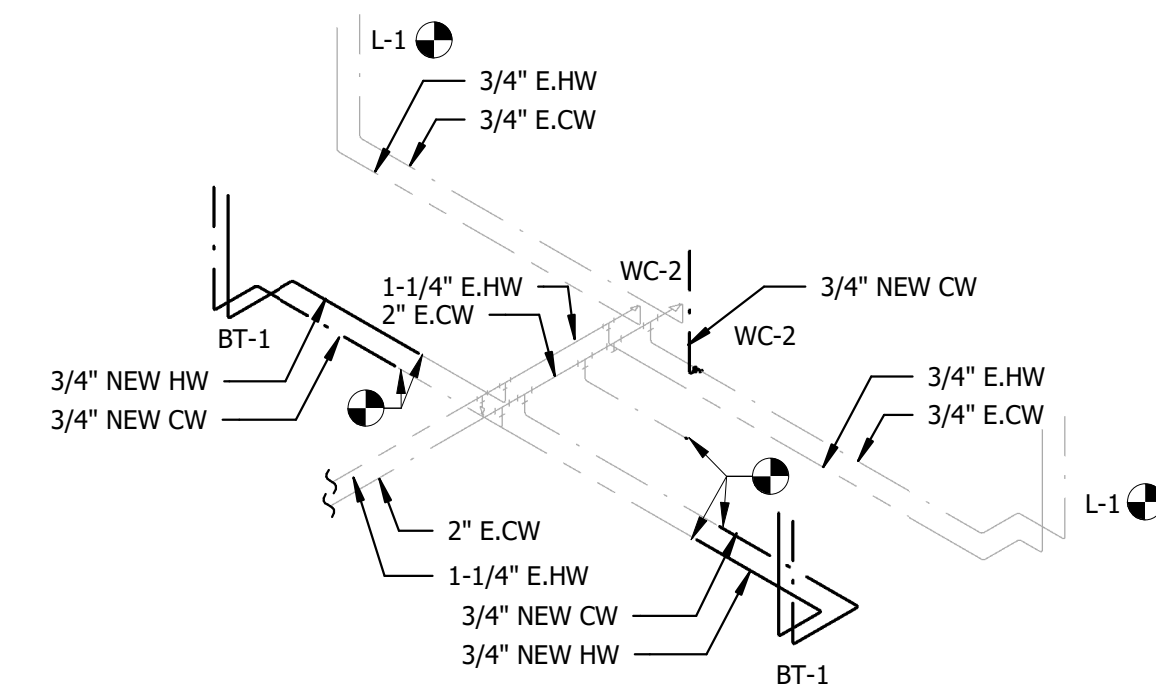
3 DETAIL - DWV ISOMETRIC - FIRST FLOOR UNIT (6 THUS)
NO SCALE



4 DETAIL - WATER ISOMETRIC - FIRST FLOOR UNIT (6 THUS)
NO SCALE



5 DETAIL - DWV ISOMETRIC - SECOND FLOOR BATHING ROOMS
NO SCALE



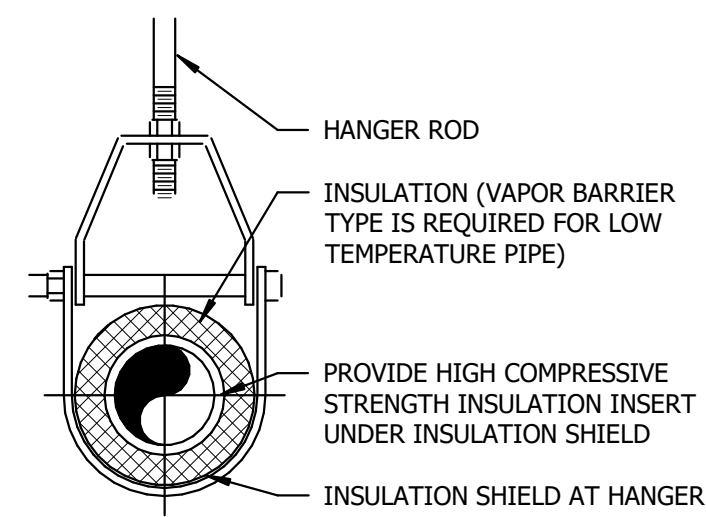
6 DETAIL - WATER ISOMETRIC - SECOND FLOOR BATHING ROOMS
NO SCALE

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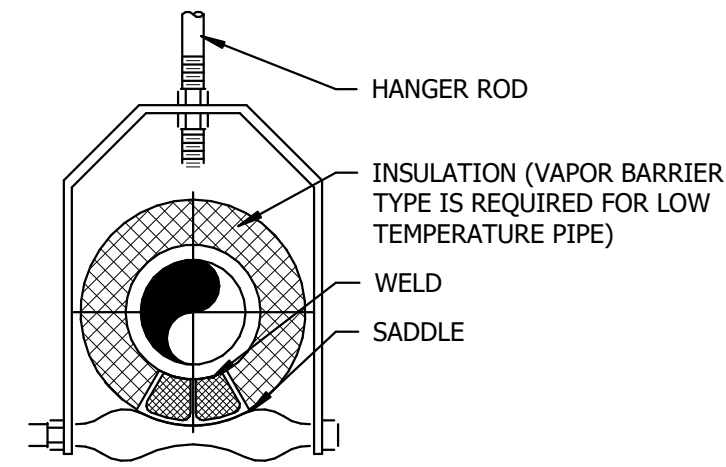
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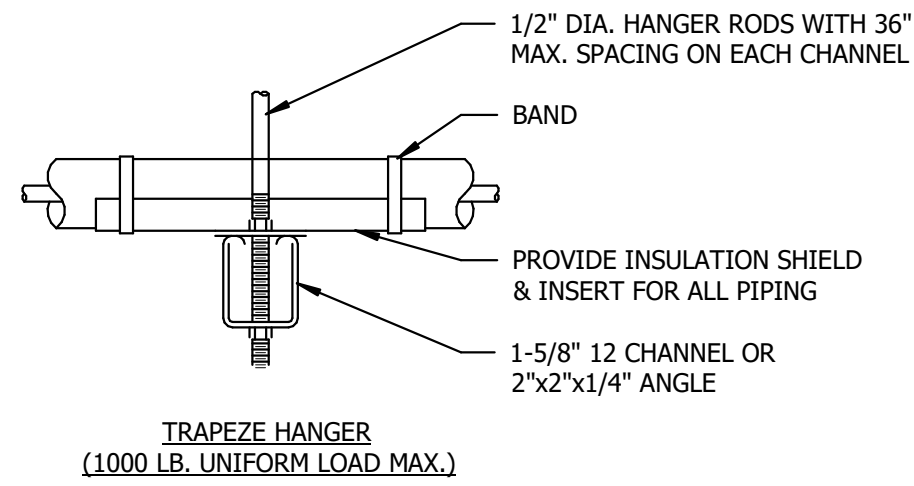
NORTH	DATE	09/28/21
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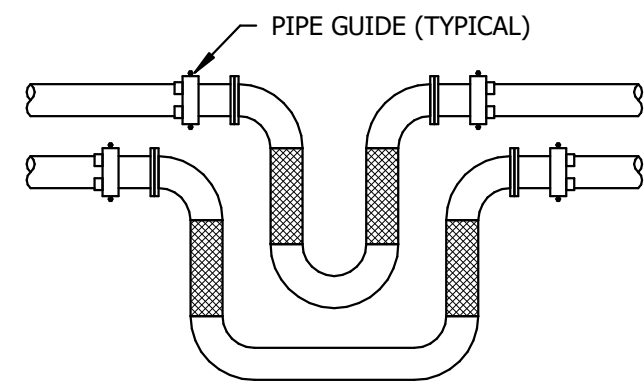
ADJUSTABLE CLEVIS HANGER



ADJUSTABLE ROLLER HANGER

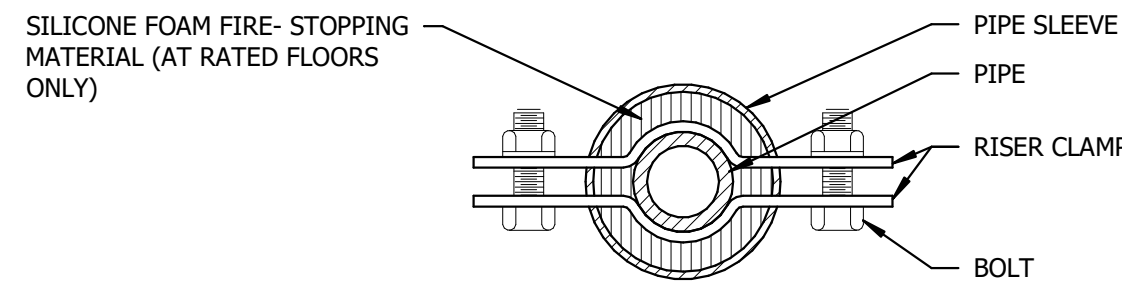


TRAPEZE HANGER
(1000 LB. UNIFORM LOAD MAX.)

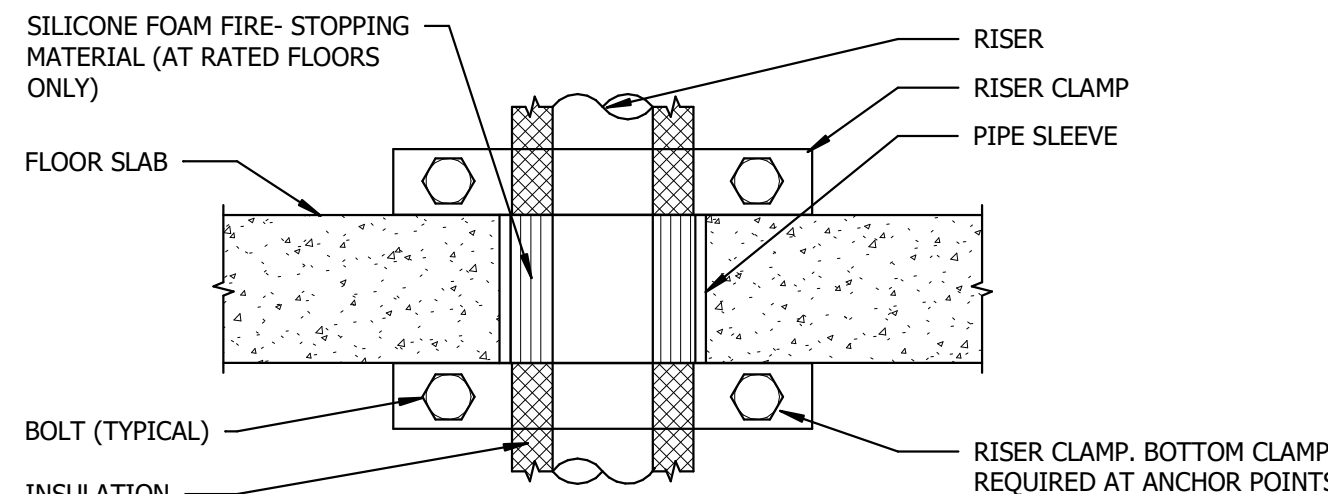


DETAIL NOTES:

1. INSTALL GUIDES AND ANCHOR POINTS AS PER FLEX LOOP MANUFACTURER.



PLAN VIEW

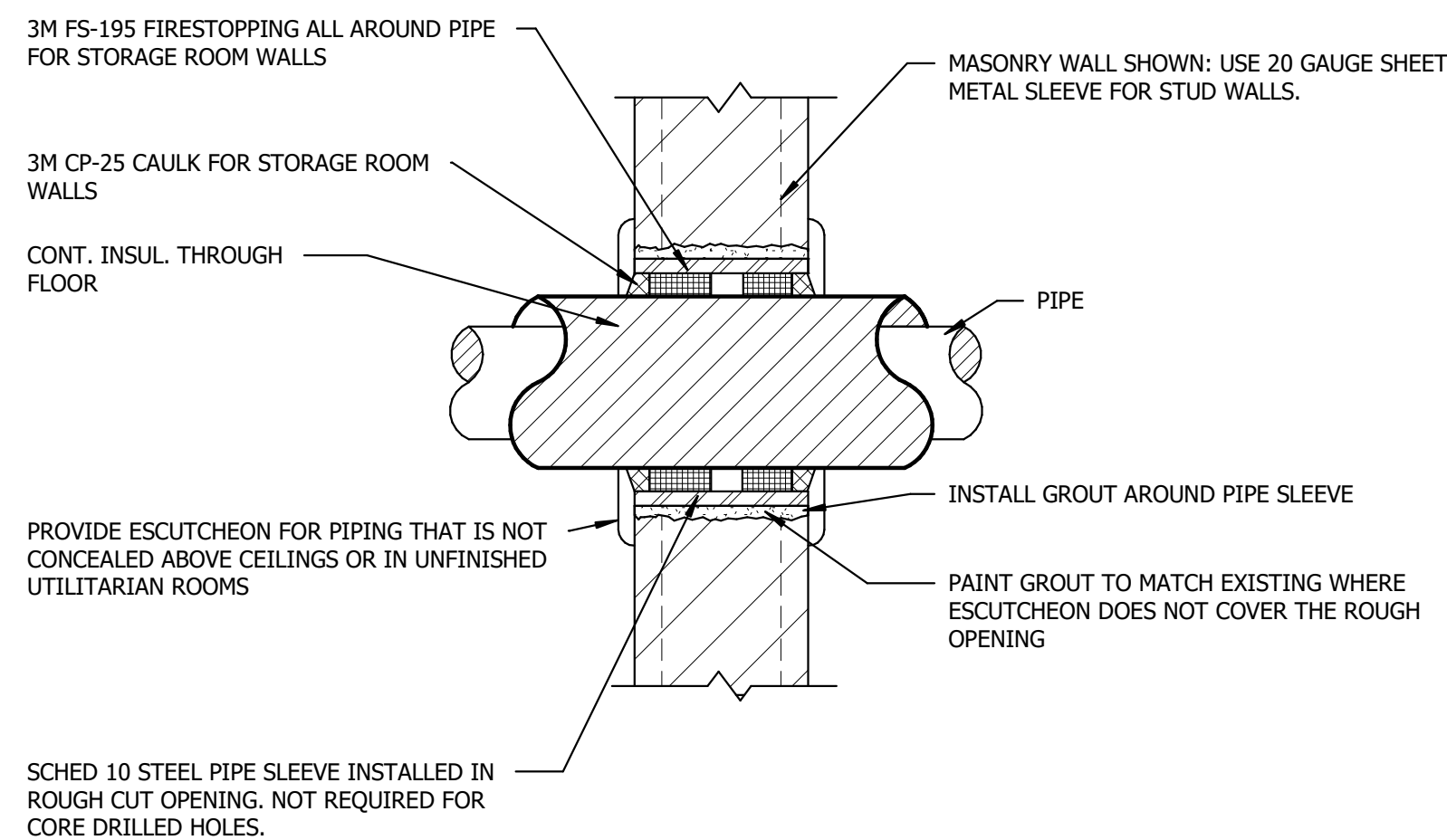


ELEVATION VIEW

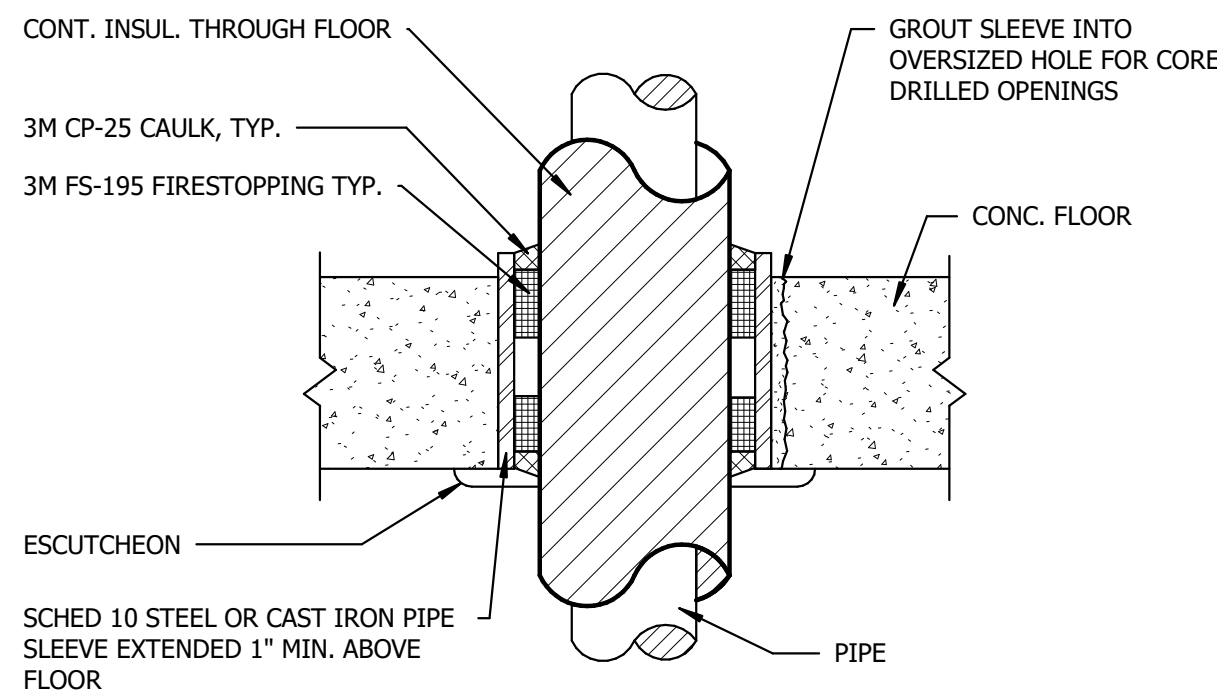
1 TYPICAL PIPE HANGER DETAIL
NO SCALE

2 FLEX LOOP DETAIL
NO SCALE

3 VERTICAL SUPPORT/ANCHOR FOR PIPE RISER DETAIL
NO SCALE



4 WALL PENETRATION
NO SCALE



5 FLOOR PENETRATION
NO SCALE

Revision Schedule

Revision Number	Revision Description	Revision Date
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HRA ACCESSIBILITY IMPROVEMENTS

WILSON APARTMENTS

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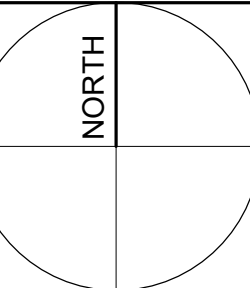
Revision Schedule

Revision Number	Revision Description	Revision Date
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HRA ACCESSIBILITY IMPROVEMENTS

WILSON APARTMENTS

ST. CLOUD, MN

	DATE	09/28/21
	PROJECT	05021001

P8.01

PLUMBING FIXTURE DEMAND SCHEDULE (NEW)

SANITARY SEWER DEMAND	-	-	31.5 TOTAL D.F.U.
DOMESTIC WATER DEMAND	10.875 HOT S.F.U.	36.375 COLD S.F.U.	40 TOTAL S.F.U.

ITEM	DESCRIPTION	FIXTURE	TRIM	WASTE	VENT	HOT	COLD	NOTES
WC-1	TANK TYPE WATER CLOSET-ADA UNIT	PROFLO PF1606PAWH/PF1612PAWH	PROFLO PFTSEC2000WH	E.4"	E.2"	-	E.1/2"	1,3,4,10
WC-2	FLOOR MOUNTED FLUSHVALVE WATER CLOSET - ADA	PROFLO PF1721	PROFLO PFTSCOF2000WH, SLOAN 111-1.6	E.4"	E.2"	-	E.1"	1,3,4,10
L-1	WALL HUNG LAVATORY - ADA UNIT	PROFLO PF5514WH	PROFLO PFWSC3006CP	E.2"	E.1 1/2"	E.1/2"	E.1/2"	1,2,3,5,9,10
L-2	WALL HUNG LAVATORY - ADA	PROFLO PF5514WH	SLOAN SF2350	E.2"	E.1 1/2"	E.1/2"	E.1/2"	1,2,3,5,9,10
KS-1	DOUBLE BOWL SINK - ADA UNIT	PROFLO PFSR332263	PROFLO PFXC3101CP	E.2"	E.1 1/2"	E.1/2"	E.1/2"	1,3
BT-1	TUB - ADA PACKAGE	AMERICAN STANDARD 3252OD.709.SXX	INCLUDED IN BASE MODEL	2"	1 1/2"	1/2"	1/2"	1,3,6
SH-1	SHOWER - ADA UNIT	SEE SD-1	DELTA R10700-UNWS, DELTA T13H322	E.2"	E.1 1/2"	E.1/2"	E.1/2"	1,3,6,7,8
SD-1	SQUARE SHOWER DRAIN	WATTS SD	-	E.2"	E.1 1/2"	-	-	3
FD-1	ROUND FLOOR DRAIN	WATTS FD-100-A	-	3"	2"	-	-	3
NOTES: 1. PIPE SIZING INDICATED IN SCHEDULE, UNLESS OTHERWISE NOTED ON PLAN. 2. ALL TRAP & WASTE SHALL BE INSULATED AND OFFSET TO BE ADA COMPLIANT. 3. VERIFY ROUGH-IN PRIOR TO PURCHASE OF PLUMBING FIXTURE. 4. FLUSH HANDLE SHALL BE LOCATED TO MEET ADA REQUIREMENTS. 5. PROVIDE THERMOSTATIC MIXING VALVE THAT CONFORMS TO ASSE 1070 AND LIMITS TEMPERED WATER TO A MAX. 110°F. (MODEL LEONARD 170A-LF) 6. A WATER SUPPLY LINE TO A HAND HELD SHOWER SPRAY SHALL BE PROTECTED AGAINST BACKFLOW BY THE USE OF AN IN-LINE VACUUM BREAKER. 7. SHOWERS AND COMBINATION SHOWER-BATHS SHALL BE EQUIPPED WITH ANTI-SCALD CONTROL VALVES. THESE VALVES MUST BE OF THE THERMOSTATIC OR PRESSURE BALANCE TYPE IN ACCORDANCE WITH ANSI/ASSE STANDARD 1016-96. THE INSTALLER MUST... THAT THE TEMPERATURE SETTING FROM THE FACTORY IS SET OR ADJUSTED IN ACCORDANCE WITH THE STANDARD. IT IS RECOMMENDED THAT THE MAXIMUM SETTING OF THE DISCHARGE TEMPERATURE DOES NOT EXCEED 110°F. 8. FOR ADA COMPLIANCE, PROVIDE GRAB BARS AND FOLD-UP SEAT. 9. PROVIDE WALL MOUNTED FIXTURE CARRIER. 10. COORDINATE MOUNTING HEIGHTS WITH ARCHITECTURAL.								

DIFFUSER & GRILLE LEGEND

DIFFUSER/GRILLE			
TYPE (SEE SCHEDULE)	A	8	THROAT DIAMETER OR SIZE
CUBIC FEET PER MINUTE (CFM)	180	SA	TYPE OF AIR FLOW

DIFFUSER, REGISTER, AND GRILLE SCHEDULE

UNIT TAG	TYPE	MFGR.	MODEL	DESCRIPTION	MATERIAL	FINISH	ACCESSORIES	NOTES
D	EXHAUST GRILLE	TITUS	350RL	WALL OR CEILING-MOUNTED	STEEL	WHITE	-	-

NOTES:

FINNED-TUBE RADIATION SCHEDULE

UNIT TAG	MFR.	MODEL	ENCLOSURE TYPE	PERFORMANCE DATA										CONSTRUCITON DATA										NOTES
				ROOM AIR DB (°F)	LENGTH (FT)	HEATING CAPACITY			FLUID TYPE	WATER DATA				FINS					CONNECTION PIPE SIZE (IN)	TIERS	ENCL. HEIGHT (IN)	MOUNT HEIGHT (IN)	FINISH	
						NOMINAL OUTPUT (BTU/H-FT)	NET CORREC. FACTOR	OPERATING OUTPUT (BTU/H-FT)		FLOW (GPM)	VEL. (FPS)	PD (FT/100 FT)	AWT (°F)	MATERIAL	NO./LIN.FT.	FIN SIZE (IN)	THICKNESS (IN)							
FTR-1	STERLING	VERSA-LINE JVA-T	TOP OUTLET	65	PER PLANS	780	0.369	288		0.7	0.5	0.26	145.0	CU/AL	40	3-1/4X3-1/4	0.020	3/4	1	20	SEE PLANS	BY ARCH	1,2	
NOTES: 1. SUBMIT COLOR CHART TO ARCHITECT. 2. EACH ROOM COVER TO EXTEND WALL TO WALL UNLESS SHOWN OTHERWISE. PROVIDE ALL END CAPS, MITERS, WALL TRIM AND FILLER SLEEVES REQUIRED FOR COMPLETE INSTALLATION.																								

LIGHTING	POWER (-CONTINUED-)	COMMUNICATIONS	HEALTH CARE	SCHEMATIC SYMBOLS														
<div>LUMINAIRE LEGEND</div> <div><div><div>FIXTURE ID</div><div>DESIGNATES W/EMERGENCY BALLAST</div><div>CIRCUIT NUMBER</div><div>SWITCH CIRCUIT ID</div></div></div> <div><div><div>RECESSED LUMINAIRE</div><div>NIGHT LIGHT</div><div>LUMINAIRE ON CRITICAL POWER CIRCUIT</div><div>LUMINAIRE ON LIFE SAFETY (EMERGENCY) POWER CIRCUIT</div><div>PENDANT MOUNTED LUMINAIRE</div><div>INDICATES WALL WASH RECESSED CAN LUMINAIRE</div><div>WALL MOUNT LUMINAIRE</div><div>TRACK LIGHTING</div><div>POLE MOUNTED LUMINAIRE</div><div>SHADED REGION INDICATES FACE EXIT LIGHT WALL MOUNT</div><div>EMERGENCY LIGHTING UNIT</div><div>OCCUPANCY SENSOR, CEILING MOUNTED</div><div>OCCUPANCY SENSOR, WALL MOUNTED</div><div>SWITCH</div><div>SWITCH CIRCUIT IDENTIFIER</div><div>SWITCH TYPE IDENTIFIER: 2=TWO POLE, SINGLE THROW 3=THREE WAY 4=FOUR WAY D=DIMMER P=WITH PILOT LIGHT T=TIMER SP=SPEED CONTROL K=KEYED M=MOTOR HORSE POWER RATED MS=MANUAL MOTOR STARTER</div><div>LIGHTING CONTROL STATION</div><div>PHOTOCELL, DAY LIGHT SENSOR</div><div>REMOTE EMERGENCY LIGHTING HEAD</div></div></div>	<div>MOTOR, SINGLE PHASE</div> <div>MOTOR, THREE PHASE</div> <div>DISCONNECT/SAFETY SWITCH</div> <div>DISCONNECT/SAFETY SWITCH WITH FUSED OVERCURRENT PROTECTION</div> <div>MOTOR CONTROLLER WITH INTEGRAL DISCONNECT</div> <div>ENCLOSED CIRCUIT BREAKER</div> <div>HAND DRYER</div> <div>FLOOR BOX - GANG AND DEVICES SHOWN ON PLANS</div> <div>MULTI-OUTLET ASSEMBLY</div> <div>GROUNDING BOND POINT</div> <div>POWER POLE</div> <div>OUTDOOR RECEPTACLE PEDESTAL</div> <div>IN-GRADE HAND HOLE (LOCATION OF TEXT MAY VARY)</div> <div>WALL MOUNTED GROUND BUS</div> <tr><td colspan="2">FIRE ALARM SYSTEMS</td></tr> <tr><td colspan="2">SECURITY SYSTEMS</td></tr> <tr><td colspan="2">CONTROL</td></tr>	FIRE ALARM SYSTEMS		SECURITY SYSTEMS		CONTROL		<div>NUMBER OF PORTS/CABLES DATA OUTLET</div> <div>VOICE (TELEPHONE) OUTLET</div> <div>VOICE/DATA OUTLET</div> <div>TELEVISION (TV) OUTLET</div> <div>CLOCK OUTLET</div> <div>INTERCOM STATION</div> <div>SPEAKER, WALL MOUNT</div> <div>SPEAKER, CEILING MOUNT</div> <div>MICROPHONE OUTLET</div> <div>AUDIO/VIDEO OUTLET</div> <div>VOLUME CONTROL</div> <div>PROJECTOR</div> <div>PROJECTOR CONTROL OUTLET</div> <div>BELL/CHIME/AUDIBLE NOTIFICATION DEVICE</div> <div>CABLE TRAY</div> <div>WIRELESS ACCESS POINT</div> <div>CARD READER</div> <div>KEY PAD</div> <div>DOOR CONTACT</div> <div>REQUEST TO EXIT</div> <div>MOTION DETECTOR</div> <div>GLASS BREAK DETECTOR</div> <div>FIRE ALARM TAMPER SWITCH</div> <div>ELECTRIFIED/MAGNETIC DOOR LOCK MECHANISM</div> <div>CCTV CAMERA (FIXED)</div> <div>CCTV CAMERA (PAN-TILT-ZOOM)</div>	<div>NURSE CALL LIGHT - WALL MOUNT ZONE TYPE</div> <div>NURSE CALL LIGHT - CEILING MOUNT ZONE TYPE</div> <div>NURSE CALL LIGHT - CEILING MOUNT SINGLE LAMP TYPE</div> <div>NURSE CALL - PULL SWITCH</div> <div>NURSE CALL - STANDARD ROOM STATION</div> <div>NURSE CALL - GRAPHICAL ROOM STATION</div> <div>NURSE CALL - AUDIO STATION BED CONNECTOR</div> <div>NURSE CALL - NURSE STATION CONSOLE</div> <div>NURSE CALL TERMINAL</div> <div>NURSE CALL MARQUEE</div> <div>NURSE CALL - STAFF LOCATOR</div> <tr><td colspan="2">ONE-LINE SYMBOLS</td></tr> <tr><td colspan="2">KEYNOTE/LEGEND SYMBOLS</td></tr>	ONE-LINE SYMBOLS		KEYNOTE/LEGEND SYMBOLS		<div>RELAY COIL (NUMBER DENOTED)</div> <div>NORMALLY OPEN CONTACT</div> <div>NORMALLY CLOSED CONTACT</div> <div>THREE POSITION SELECTOR SWITCH (HAND-OFF-AUTO DENOTED)</div> <div>TWO POSITION SELECTOR SWITCH (RUN-OFF DENOTED)</div> <div>PUSH TO TEST PILOT LIGHT (COLOR DENOTED)</div> <div>PILOT LIGHT (COLOR DENOTED)</div> <div>PUSH BUTTON - NORMALLY CLOSED</div> <div>PUSH BUTTON - NORMALLY OPEN</div> <div>TIMING RELAY</div> <div>CLOSED SWITCH - TIME DELAY OPEN</div> <div>OPEN SWITCH - TIME DELAY CLOSED</div> <div>CLOSED SWITCH - TIME DELAY CLOSED</div> <div>OPEN SWITCH - TIME DELAY OPEN</div> <div>TEMPERATURE SWITCH - CLOSE ON RISING TEMPERATURE</div> <div>TEMPERATURE SWITCH - OPEN ON RISING TEMPERATURE</div> <div>SOLENOID</div> <div>CONTROL POWER TRANSFORMER</div> <div>GROUND</div> <div>OVERLOAD</div> <div>HEATER</div> <div>TERMINAL BLOCK</div> <div>CONNECTION NODE</div> <tr><td colspan="2">KEYNOTE/LEGEND SYMBOLS</td></tr> <tr><td colspan="2">GENERAL</td></tr>	KEYNOTE/LEGEND SYMBOLS		GENERAL	
	FIRE ALARM SYSTEMS																	
	SECURITY SYSTEMS																	
	CONTROL																	
	ONE-LINE SYMBOLS																	
	KEYNOTE/LEGEND SYMBOLS																	
	KEYNOTE/LEGEND SYMBOLS																	
	GENERAL																	

ELECTRICAL ABBREVIATIONS LIST									
1P	1 POLE (2P, 3P, 4P, ETC.)	FA	FIRE ALARM	MFR	MANUFACTURER	SS	STAINLESS STEEL		
A	AMPERE	FABP	FIRE ALARM BOOSTER POWER SUPPLY PANEL	MFS	MAIN FUSED DISCONNECT SWITCH	SSW	SELECTOR SWITCH		
AC	ABOVE COUNTER	FACP	FIRE ALARM CONTROL PANEL	MH	MANHOLE	S/S	STOP/START PUSHBUTTONS		
A/C	AIR CONDITIONER	FCU	FAN COIL UNIT	MIC	MICROPHONE	STA	STATION		
ACLG	ABOVE CEILING	FIXT	FIXTURE	MIN	MINIMUM	STD	STANDARD		
ADO	AUTOMATIC DOOR OPENER	FLR	FLOOR	MISC	MISCELLANEOUS	SURF	SURFACE MOUNTED SWITCH		
AF	AMP FRAME	FLUOR	FLUORESCENT	MLO	MAIN LUGS ONLY				
AFF	ABOVE FINISHED FLOOR	FRG	REFRIGERATOR OR FREEZER	MMS	MANUAL MOTOR STARTER	SWBD	SWITCHBOARD		
AFG	ABOVE FINISHED GRADE	FU	FUSE	MOA	MULTIOUTLET ASSEMBLY	SYM	SYMMETRICAL		
AFI	ARC FAULT CIRCUIT INTERRUPTER	FUDS	FUSED SAFETY DISCONNECT SWITCH	MSP	MOTOR STARTER PANELBOARD	SYS	SYSTEM		
AHU	AIR HANDLING UNIT			MSBD	MAIN SWITCHBOARD	TEL	TELEPHONE		
AL	ALUMINUM	GA	GAUGE	MT	MOUNT	T/D	TELEPHONE/DATA		
ALT	ALTERNATE	GAL	GALLON	MT.C	EMPTY CONDUIT	TERM	TERMINAL		
AMP	AMPERE	GALV	GALVANIZED	MTS	MANUAL TRANSFER SWITCH	TL	TWIST LOCK		
AMPL	AMPLIFIER	GC	GENERAL CONTRACTOR	MTR	MOTOR, MOTORIZED	TR	TAMPER RESISTANT		
ANUN	ANNUNCIATOR	GEN	GENERATOR	MW	MICROWAVE	TSTAT	THERMOSTAT		
APRX	APPROXIMATELY	GFI	GROUND FAULT CIRCUIT INTERRUPTER	N.C.	NORMALLY CLOSED	TTC	TELEPHONE TERMINAL		
AQST	AQUASTAT			NEC	NATIONAL ELECTRICAL CODE	TV	TELEVISION		
ARCH	ARCHITECT, ARCHITECTURAL	GFCI	GROUND FAULT CIRCUIT INTERRUPTER	NEMA	NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION	TVTC	TELEVISION TERMINAL		
AT	AMP TRIP	GFP	GROUND FAULT PROTECTOR	NFDS	NON-FUSED SAFETY DISCONNECT SWITCH	TYP	TYPICAL		
ATS	AUTOMATIC TRANSFER SWITCH	GND	GROUND						
AUTO	AUTOMATIC	GRS	GALVANIZED RIGID STEEL (CONDUIT)	NIC	NOT IN CONTRACT	UC	UNDER COUNTER		
AUX	AUXILIARY	GYPBD	GYPSPUM BOARD	NL	NIGHT LIGHT	UE	UNDERGROUND ELECTRICAL		
AV	AUDIO VISUAL			N.O.	NORMALLY OPEN	UH	UNDERGROUND		
AWG	AMERICAN WIRE GAUGE	HOA	HANDS-OFF-AUTOMATIC SWITCH	NPF	NORMAL POWER FACTOR	UG	UNIT HEATER		
				NTS	NOT TO SCALE	UNO	UNLESS NOTED OTHERWISE		
BATT	BATTERY	HORIZ	HORIZONTAL			UT	UNDERGROUND TELEPHONE		
BD	BOARD	HP	HORSEPOWER	OH	OVERHEAD	UTIL	UTILITY		
BLDG	BUILDING	HPF	HIGH POWER FACTOR	OL	OVERLOADS	UV	UNIT VENTILATOR OR ULTRAVIOLET		
BMS	BUILDING MANAGEMENT SYSTEM	HT	HEIGHT						
		HTG	HEATING	PA	PUBLIC ADDRESS	V	VOLT		
C	CONDUIT	HTR	HEATER	PB	PULL BOX OR PUSHBUTTON	VA	VOLT-AMPERES		
CAB	CABINET	HV	HIGH VOLTAGE	PE	PNEUMATIC ELECTRIC	VDT	VIDEO DISPLAY TERMINAL		
CAT	CATALOG	HVAC	HEATING, VENTILATING AND AIR CONDITIONING	PED	PEDESTAL	VERT	VERTICAL		
CATV	CABLE TELEVISION	HWP	HYDRONIC WATER PUMP	PH	PHASE	VFD	VARIABLE FREQUENCY DRIVE		
CB	CIRCUIT BREAKER			PIV	POST INDICATING VALVE	VOL	VOLUME		
CCTV	CLOSED CIRCUIT TELEVISION	IC	INTERRUPTING CAPACITY	PNL	PANEL				
CKT	CIRCUIT	IG	ISOLATED GROUND	PP	POWER POLE	W	WATT		
CLG	CEILING	IMC	INTERMEDIATE METAL CONDUIT	PR	PAIR	W/	WITH		
COMB	COMBINATION	INCD	INCANDESCENT	PRI	PRIMARY	WG	WIRE GUARD		
CMPR	COMPRESSOR	IR	INFRARED	PROJ	PROJECTION	WH	WATER HEATER		
CONN	CONNECTION	I/W	INTERLOCK WITH	PRV	POWER ROOF VENTILATOR	W/O	WITHOUT		
CONST	CONSTRUCTION			PT	POTENTIAL TRANSFORMER	WP	WEATHERPROOF		
CONT	CONTINUATION OR CONTINUOUS	J-BOX	JUNCTION BOX	PVC	POLYVINYL CHLORIDE (CONDUIT)				
CONTR	CONTRACTOR	JB	JUNCTION BOX	PWR	POWER	XFMR	TRANSFORMER		
CONV	CONVECTOR					XFR	TRANSFER		
CP	CIRCULATING PUMP	KVA	KILOVOLT-AMPERE	QUAN	QUANTITY				
CRT	CATHODE-RAY TUBE	KVAR	KILOVOLT-AMPERE REACTIVE	QTY	QUANTITY				
CT	CURRENT TRANSFORMER	KW	KILOWATT						
CTR	CENTER	KWH	KILOWATT HOUR	RCPT	RECEPTACLE				
CU	COPPER			REQD	REQUIRED				
		LOC	LOCATE OR LOCATION	RM	ROOM				
DGP	DOMESTIC WATER CIRCULATING PUMP	LT	LIGHT	RSC	RIGID STEEL CONDUIT	/	ANGLE		
DEPT	DEPARTMENT	LTG	LIGHTING	RTU	ROOF TOP UNIT	@	AT		
DET	DETAIL	LV	LOW VOLTAGE			△	DELTA		
DIA	DIAMETER					'	FEET		
DISC	DISCONNECT					"	INCHES		
DIST	DISTRIBUTION	MAX	MAXIMUM	SC	SURFACE CONDUIT	#	NUMBER		
DN	DOWN	MAG.S	MAGNETIC STARTER	SEC	SECONDARY	Ø	PHASE		
DPR	DAMPER	M/C	MOMENTARY CONTACT	SHT	SHEET	C	CENTER LINE		
DS	SAFETY DISCONNECT SWITCH	MC	MECHANICAL CONTRACTOR	SIM	SIMILAR	P	PLATE		
DT	DOUBLE THROW	MCC	MOTOR CONTROL CENTER	S/N	SOLID NEUTRAL SPECIFICATION				
DWG	DRAWING	MD	MAIN DISTRIBUTION CENTER	SPK	SPEAKER				
		MDC	MAIN DISTRIBUTION CENTER	SP	SPARE				
		MDP	MAIN DISTRIBUTION PANEL	SR	SURFACE RACEWAY				

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PRINTED NAME: AARON R. MUELLER
DATE: 09/28/21 LICENSE #: 46184

Revision Schedule		
Revision Number	Revision Description	Revision Date

HRA ACCESSIBILITY IMPROVEMENTS

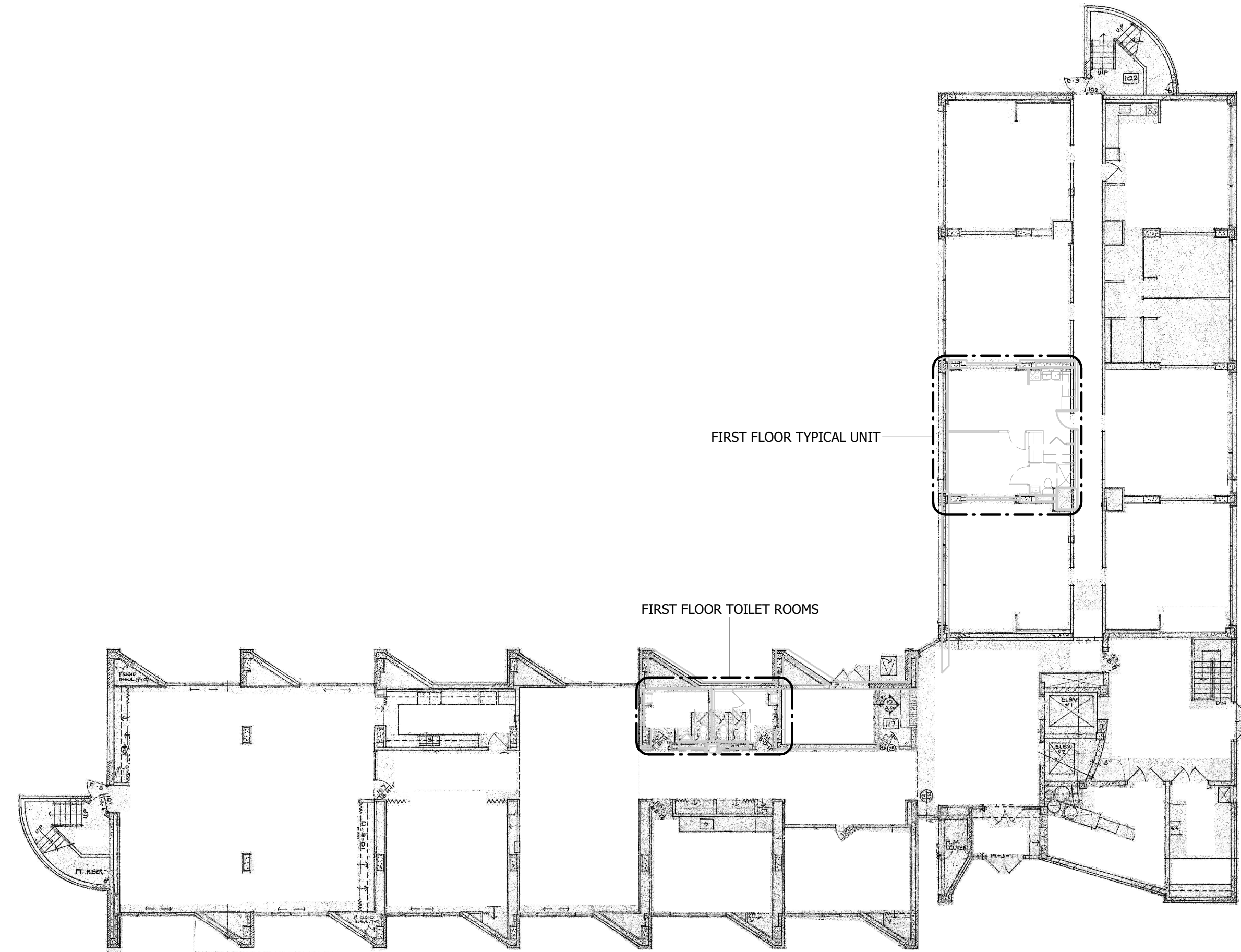
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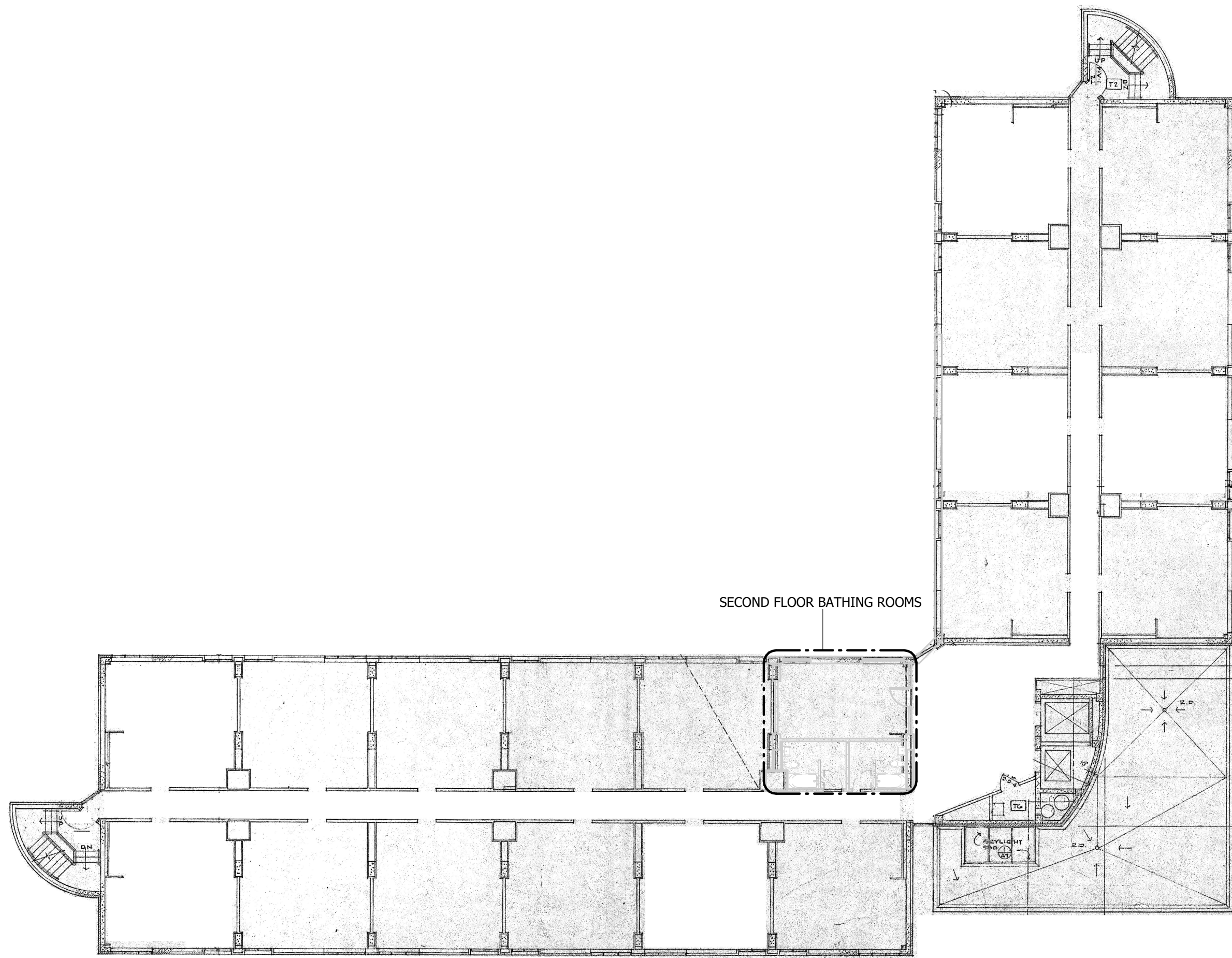
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	PROJECT	05021001
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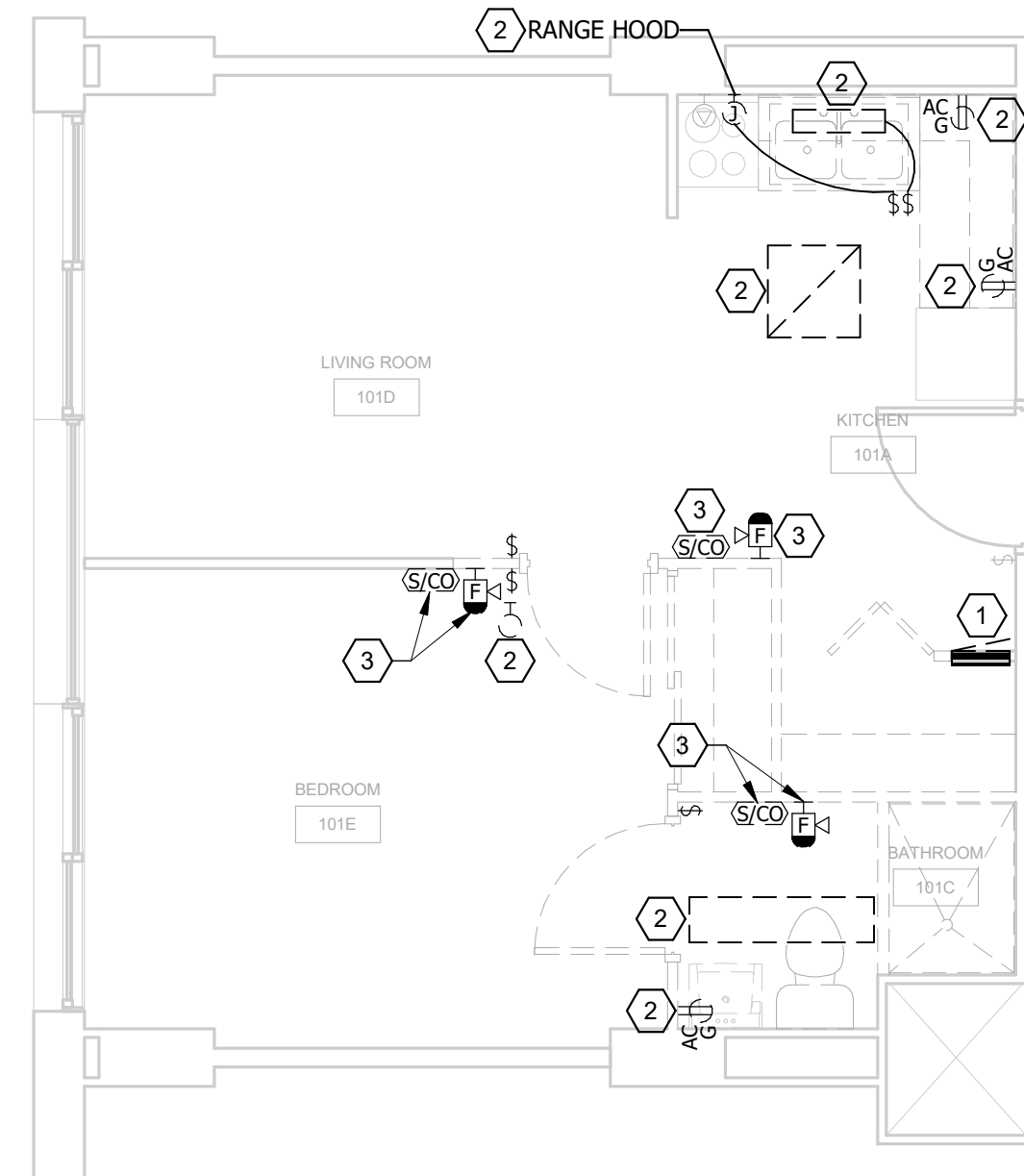
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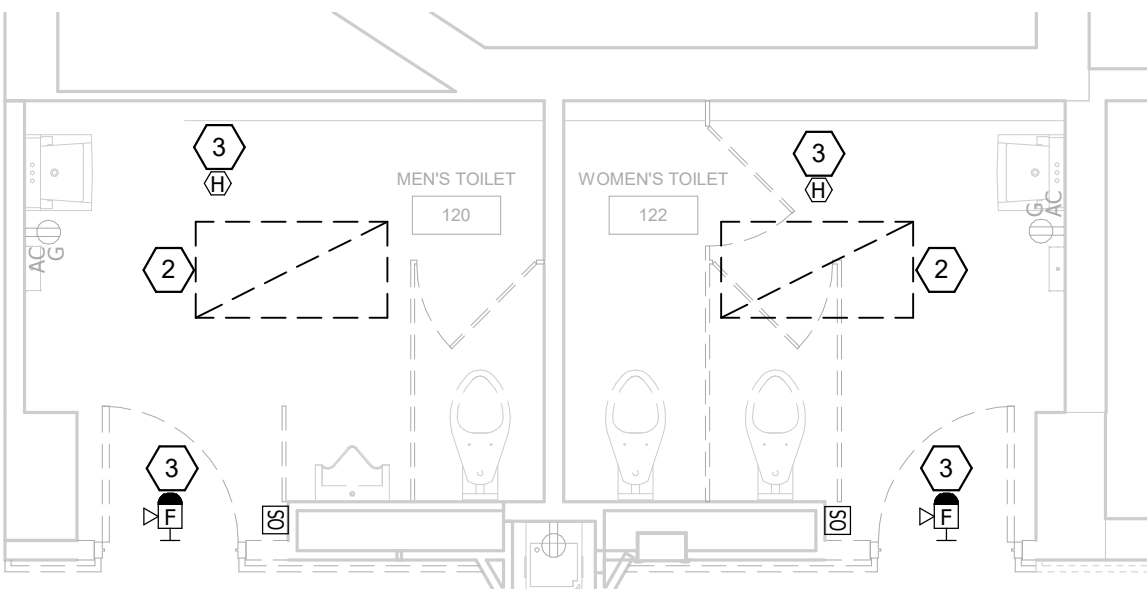
1 LEVEL 1 ELECTRICAL DEMOLITION PLAN



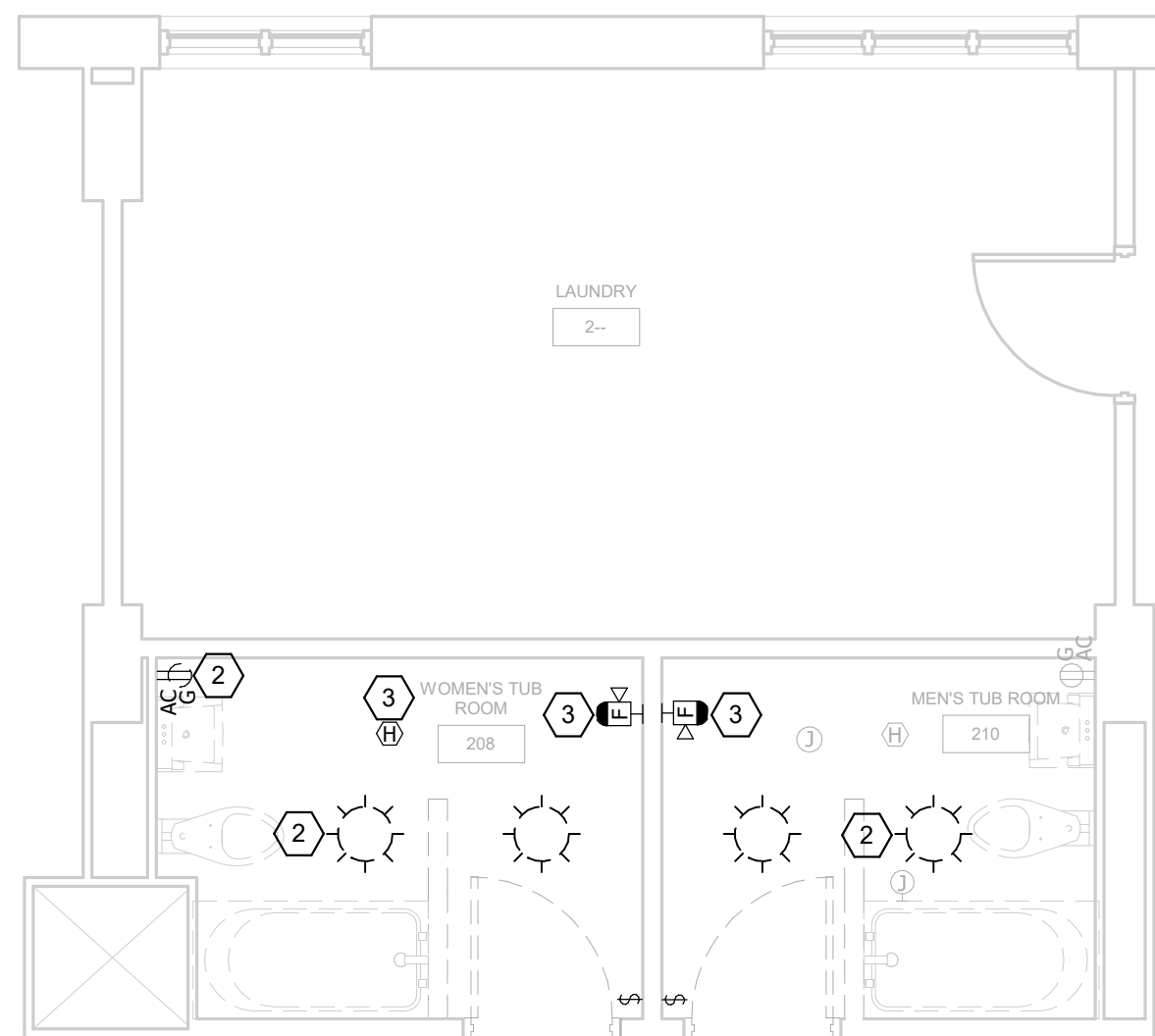
4 LEVEL 2 ELECTRICAL DEMOLITION PLAN



2 DEMOLITION PLAN - FIRST FLOOR TYPICAL UNIT ELECTRICAL PLAN (6 THUS)



3 DEMOLITION PLAN - FIRST FLOOR TOILET ROOMS ELECTRICAL PLAN



5 DEMOLITION PLAN - SECOND FLOOR BATHING ROOMS ELECTRICAL PLAN

- GENERAL NOTES:
1. ALL ELECTRICAL EQUIPMENT SHOWN IN DARK/DASHED (BLACK) LINES SHALL BE DEMOLISHED, ALL EQUIPMENT SHOWN IN LIGHT (GRAY) LINES IS EXISTING EQUIPMENT TO REMAIN AS IS. UNLESS NOTED OTHERWISE.
 2. DEVICES SHOWN TO BE DEMOLISHED SHALL BE DEMOLISHED COMPLETELY BACK TO SOURCE OR LAST ACTIVE DEVICE SHOWN TO REMAIN, UNLESS NOTED OTHERWISE.
 3. PROVIDE BLANK COVERS FOR ANY UNUSED BOXES IN THE CONSTRUCTION AREA.
 4. THE CONTRACTOR SHALL INCLUDE TEMPORARY CABLING TO KEEP THE APARTMENT UNIT POWERED DURING THE CONSTRUCTION PERIOD.
- KEYED NOTES:
1. REPLACE EXISTING UNIT LOAD CENTER WITH NEW LOAD CENTER IN SAME LOCATION. SEE ADDITIONAL DRAWINGS IN THIS SET FOR ADDITIONAL INFORMATION.
 2. SALVAGE EXISTING POWER CIRCUITRY FOR RECONNECTION TO NEW DEVICE.
 3. EXISTING DEVICE TO BE RELOCATED TO ACCOMMODATE DEMOLITION/REMODEL WORK. SEE ADDITIONAL DRAWINGS IN THIS SET FOR ADDITIONAL INFORMATION.

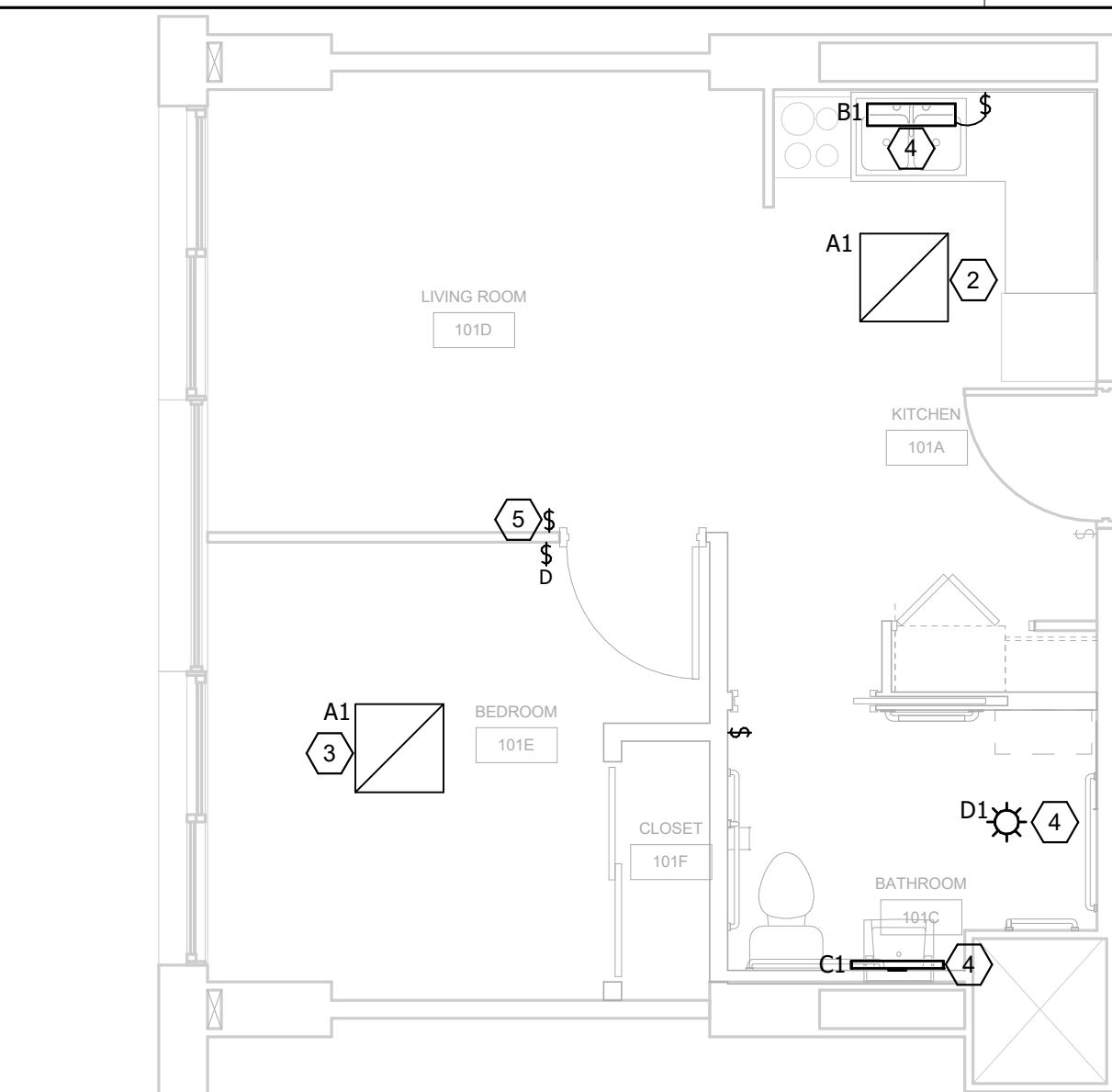
Revision Schedule		
Revision Number	Revision Description	Revision Date

HRA ACCESSIBILITY IMPROVEMENTS

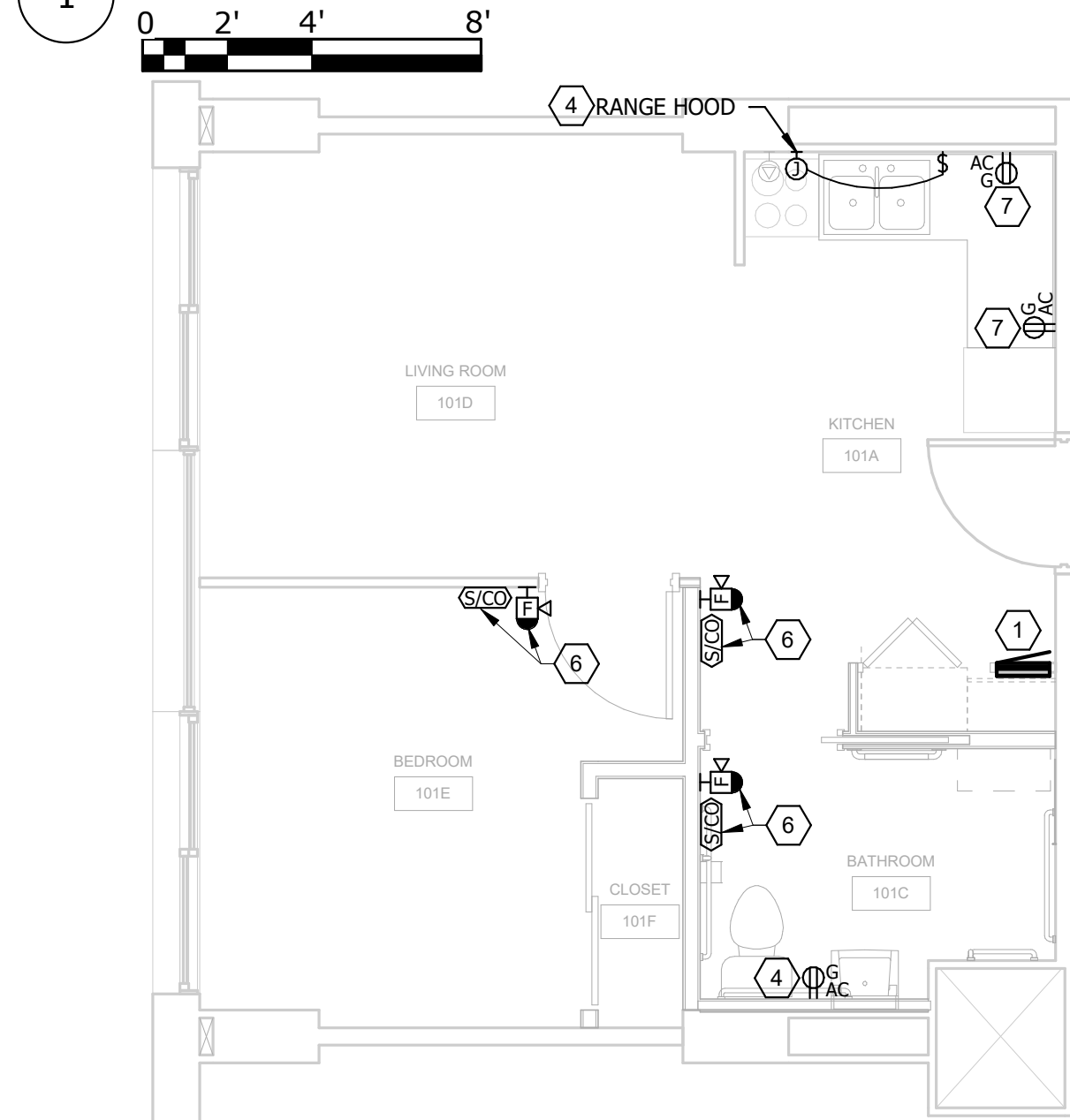
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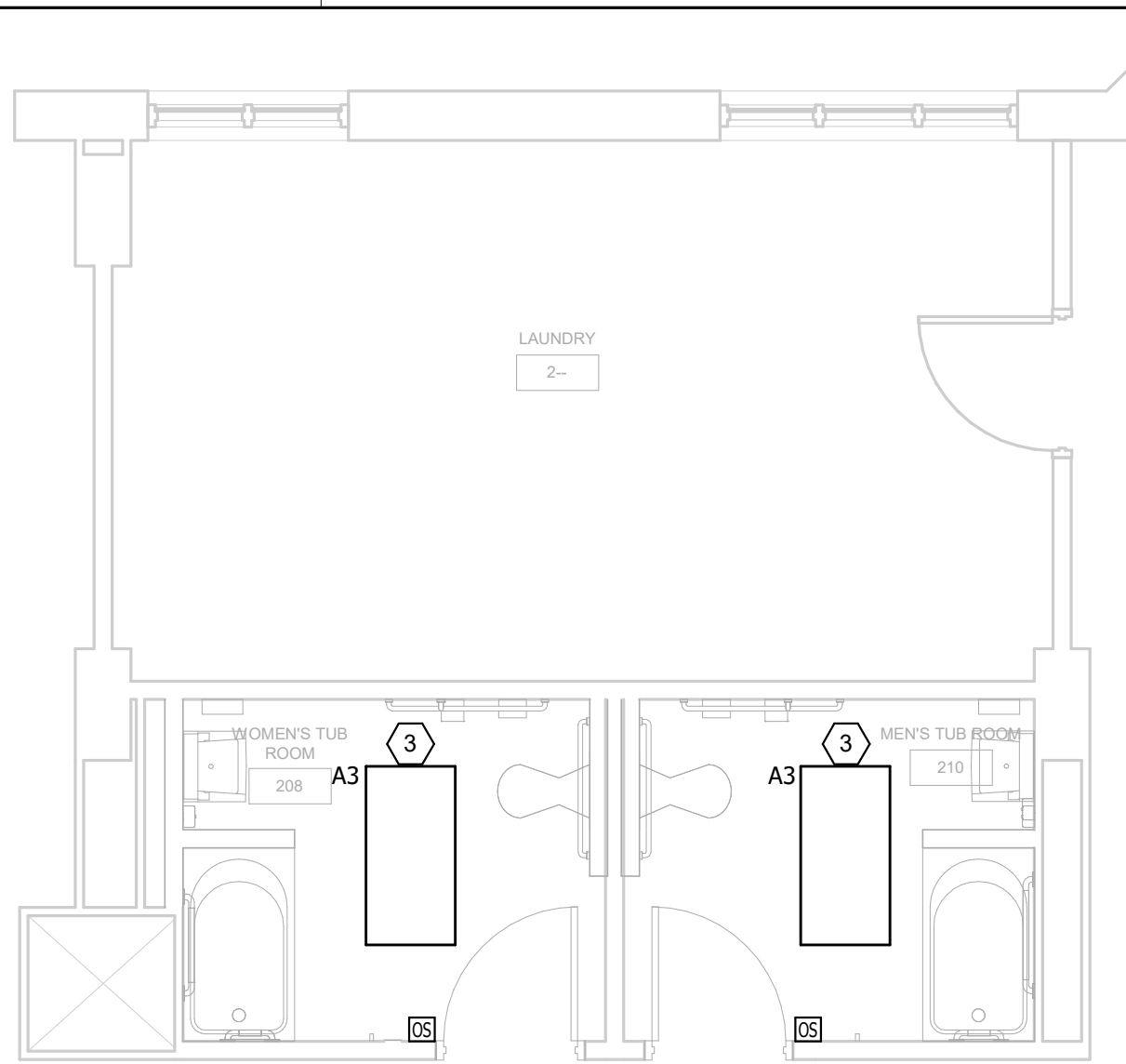
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	PROJECT	05021001
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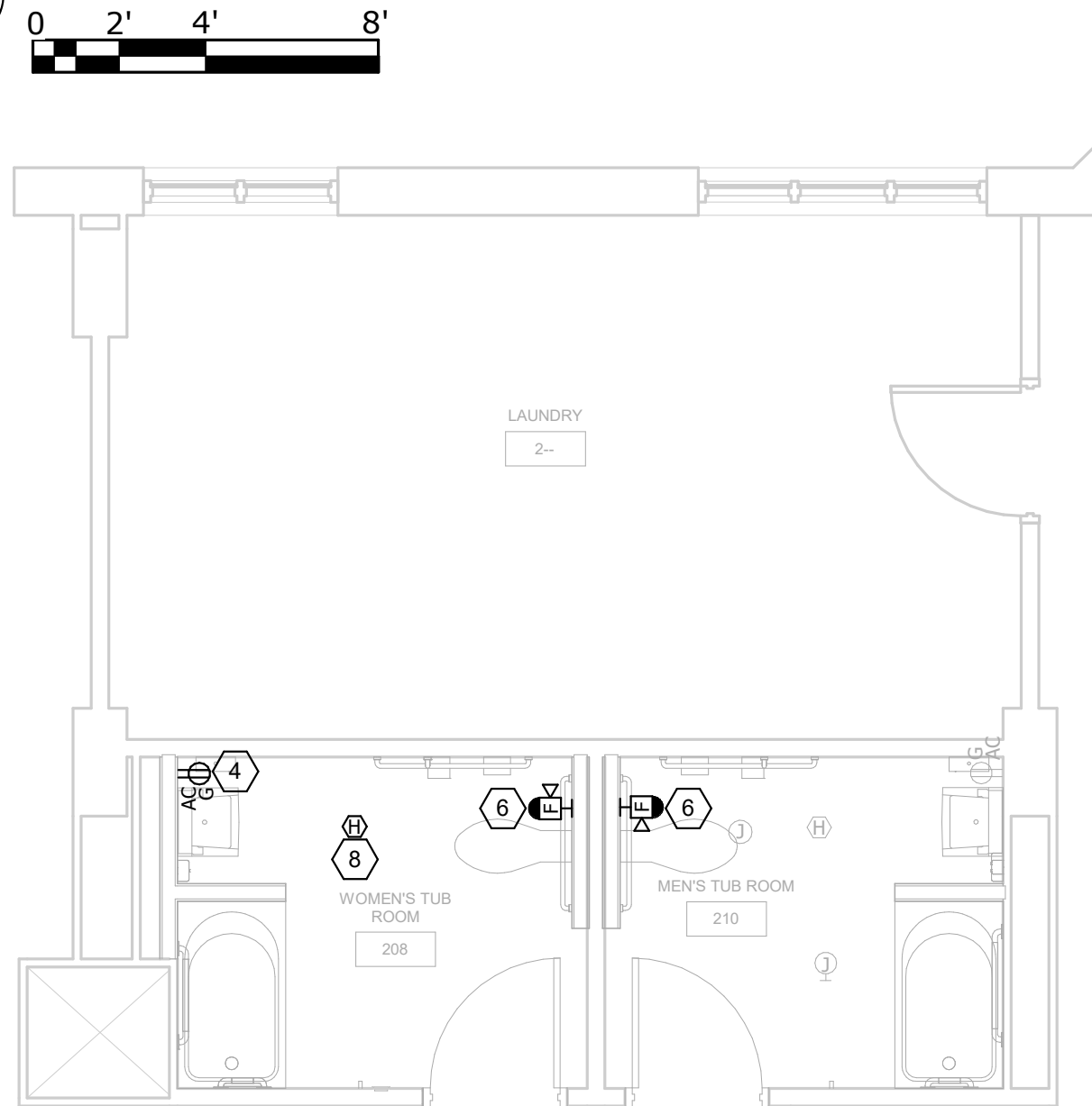
1 NEW CONSTRUCTION - FIRST FLOOR UNIT LIGHTING PLAN (6 THUS)



2 NEW CONSTRUCTION - FIRST FLOOR UNIT POWER AND SYSTEMS PLAN (6 THUS)



3 NEW CONSTRUCTION - SECOND FLOOR BATHING ROOMS LIGHTING PLAN



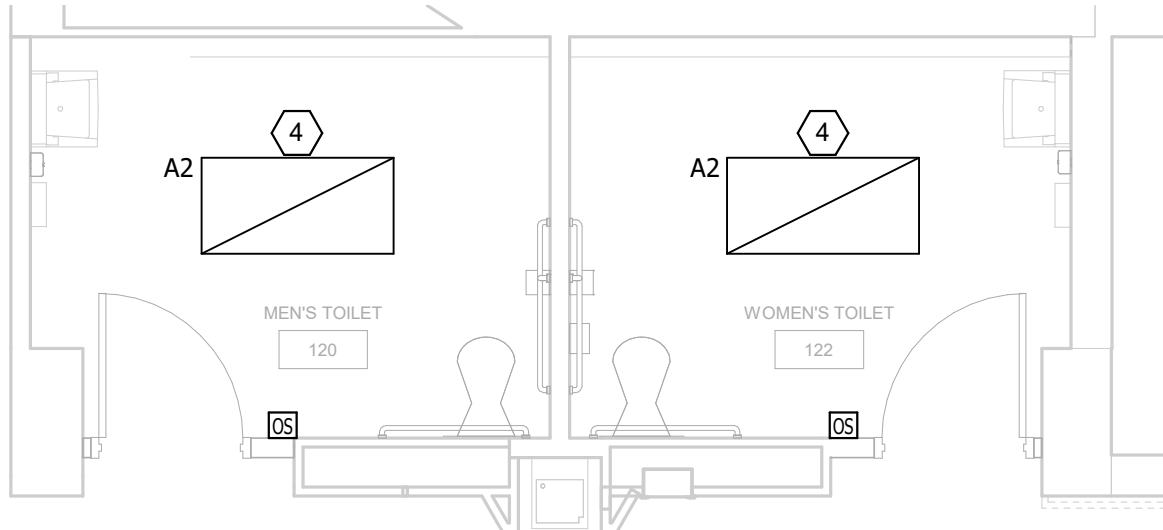
4 NEW CONSTRUCTION - SECOND FLOOR BATHING ROOMS POWER AND SYSTEMS PLAN

PANELBOARD SCHEDULE				NAME: UNIT PANEL				MAIN CIRCUIT BREAKER: 60A				KAIC RATING: MATCH EXISTING				
				LOCATION: APARTMENT UNIT				MAIN LUGS ONLY:				VOLTAGE: 240/120				
				MOUNTING: RECESSED				WIRES: 3				PHASE: 1				
CKT	CIRCUIT DESCRIPTION			TRIP	POLES	A		B		POLES	TRIP	CIRCUIT DESCRIPTION			CKT	
1	EXISTING APARTMENT LOAD			15 A	1	0	0			1	15 A	EXISTING APARTMENT LOAD			2	
3	EXISTING APARTMENT LOAD			15 A	1			0	0	1	20 A	EXISTING APARTMENT LOAD			4	
5	EXISTING APARTMENT LOAD			20 A	1	0	0								6	
7	SPACE			--	1			--	0	2	50 A	EXISTING APARTMTNE LOAD (RANGE)			8	
9	SPACE			--	1	--	--	--	--	1	--	SPACE			10	
11	SPACE			--	1			--	--	1	--	SPACE			12	
TOTAL CONNECTED LOAD				0 VA		TOTAL CALCULATED DEMAND				XXXXX		TOTAL CALCULATED AMPS				XXXXX
GENERAL NOTES:										KEY NOTES:						
1. VERIFY ALL EXISTING LOADS ON SITE AND LABEL ALL NEW BREAKERS WITH LOAD SERVED.										* GFCI RATED BREAKER						
2. EXISTING PANELBOARD HAS NO LABELING PROVIDED, VERIFY ALL DETAILS OF EXISTING PANELBOARD ON SITE.										** HACR RATED BREAKER						
3. EXISTING 60A/2P BREAKER IS ASSUMED TO BE A MAIN BREAKER DEVICE, VERIFY PRIOR TO ORDERING NEW PANELBOARDS.										*** ISOLATED GROUND CIRCUIT						
4. PROVIDE AFCI AND GFCI CIRCUIT BREAKERS AS REQUIRED BY THE NATIONAL ELECTRICAL CODE.										L. = LIGHTING						
										R. = RECEPTACLE						

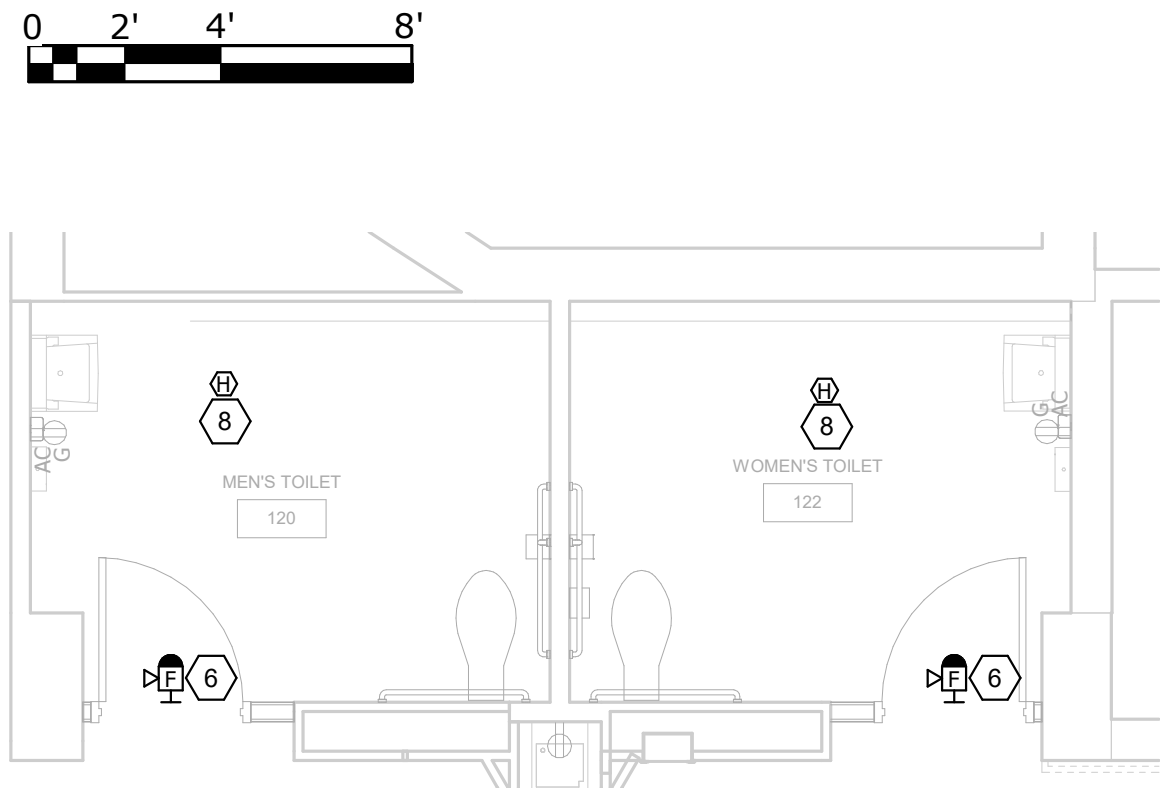
LUMINAIRE SCHEDULE							
ID TAG	TYPE	MOUNTING	LIGHT SOURCE	VOLTAGE/BALLAST	INPUT WATTS	DESCRIPTION	APPROVED MANUFACTURER
A1	2x2 FLAT PANEL LED	RECESSED	LED, 4500-5200 LUMEN, 3500K, 80CRI MIN	120V, ELECTRONIC DIMMING DRIVER	50 VA	UV RESISTANT ACRYLIC LENS, HOUSING DEPTH LESS THAN 1", OVERALL DEPTH WITH DRIVER LESS THAN 2", IC RATED	ELITE LIGHTING 22-FPL1-LED SERIES, RAB EZPAN SERIES, LSI INDUSTRIES SFP22 SERIES, COLUMBIA LIGHTING CFP SERIES
A2	2x4 FLAT PANEL LED	RECESSED	LED, 4800-5300 LUMEN, 3500K, 80CRI MIN	120V, ELECTRONIC DRIVER	53 VA	UV RESISTANT ACRYLIC LENS, HOUSING DEPTH LESS THAN 1", OVERALL DEPTH WITH DRIVER LESS THAN 2", IC RATED	ELITE LIGHTING 24-FLP1-LED SERIES, RAB EZPAN SERIES, LSI INDUSTRIES SFP24 SERIES, COLUMBIA LIGHTING CFP SERIES
A3	2x4 FLAT PANEL LED	SURFACE	LED, 4800-5300 LUMEN, 3500K, 80CRI MIN	120V, ELECTRONIC DRIVER	53 VA	UV RESISTANT ACRYLIC LENS, HOUSING DEPTH LESS THAN 1", OVERALL DEPTH WITH DRIVER LESS THAN 2", SHALLOW SURFACE MOUNT KIT	ELITE LIGHTING 24-FLP1-LED-SMK SERIES, RAB EZPAN SERIES, LSI INDUSTRIES SFP24 SERIES, COLUMBIA LIGHTING CFP SERIES
B1	2"-0" UNDERCABINET LED	SURFACE	LED, 900 LUMEN, 3500K	120V, ELECTRONIC DRIVER	10 VA	LOW PROFILE, ALUMINUM HOUSING, REMOTE ADA ACCESSIBLE SWITCH	ORACLE LIGHTING EU-LED SERIES, RAB UC120-LED SERIES, COLUMBIA LIGHTING CUC SERIES
C1	LED VANITY LIGHT	SURFACE/WALL	LED; 1100 DELIVERED LUMENS, 3500K	120V/ELECTRONIC	25 VA	LINEAR TUBE SHADE, 24-25" IN LENGTH, WHITE ACRYLIC LENS, WALL BACK PLATE	TECH LIGHTING LYNN 25 BATH SERIES, WAC LIGHTING dweLED BRINK WS SERIES, KU2CO VL622-CH SERIES
D1	6" LED DISK	SURFACE OVER J-BOX	LED, 850 DELIVERED LUMENS, 3500K	120V/ELECTRONIC DRIVER	16 VA	STAMPED ALUMINUM 6" LED DISK LIGHT, REMOVABLE LENS, MOUNTS TO 4" STANDARD JUNCTION BOX, WET LOCATION LISTED	ELITE LIGHTING RL677 SERIES, RAB DSK6 SERIES, PRESCOLITE LBSLEDA SERIES

- GENERAL NOTES:
1. ALL ELECTRICAL EQUIPMENT SHOWN IN DARK (BLACK) LINES SHALL BE NEW EQUIPMENT, ALL EQUIPMENT SHOWN IN LIGHT (GRAY) LINES IS EXISTING EQUIPMENT TO REMAIN AS IS. UNLESS NOTED OTHERWISE.
 2. THE CONTRACTOR SHALL INCLUDE TEMPORARY CABLING TO KEEP THE APARTMENT UNIT POWERED DURING THE CONSTRUCTION PERIOD.
 3. COORDINATE MOUNTING HEIGHTS OF WALL MOUNTED ELECTRICAL DEVICES WITH ARCHITECTURAL DOCUMENTS PRIOR TO INSTALLATION.
 4. ALL NEW ELECTRICAL DEVICES PROVIDED IN THE APARTMENT UNITS SHALL BE LOCATED PER ADA REQUIREMENTS AND LOCAL AUTHORITY HAVING JURISDICTION.

- (X) KEYED NOTES:
1. REPLACE EXISTING UNIT LOAD CENTER WITH NEW LOAD CENTER IN SAME LOCATION. PROVIDE RETROFIT KIT FOR EXISTING PANELBOARD OR PROVIDE NEW IF NO RETROFIT KIT IS AVAILABLE. EXISTING PANELBOARD IS A FEDERAL PACIFIC CATALOG NUMBER RB 108-16. VERIFY EXACT REQUIREMENTS ON SITE PRIOR TO ORDERING OR SUBMITTING SHOP DRAWINGS.
 2. CONNECT NEW LIGHT FIXTURE TO EXISTING POWER CIRCUIT AND CONTROLS SALVAGED DURING DEMOLITION.
 3. CONNECT NEW LIGHTING IN THIS SPACE TO EXISTING POWER CIRCUIT SALVAGED DURING DEMOLITION, PROVIDE NEW DIMMING SWITCH FOR CONTROL OF LIGHTING IN THE BEDROOM.
 4. CONNECT TO EXISTING POWER CIRCUIT SALVAGED DURING DEMOLITION.
 5. RELOCATED SWITCH FOR CONTROL OF LIVING AREA SWITCHED RECEPTACLES, EXTEND EXISTING ELECTRICAL AS REQUIRED.
 6. RELOCATED FIRE ALARM DEVICE, EXTEND EXISTING ELECTRICAL TO NEW LOCATION MAINTAIN ALL CONNECTIONS TO FIRE ALARM SYSTEM DURING DEMOLITION/RECONSTRUCTION.
 7. LOWER EXISTING KITCHEN RECEPTACLE PER ADA REQUIREMENTS AND AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION. MODIFY EXISTING ELECTRICAL CIRCUIT AS REQUIRED.
 8. EXISTING FIRE ALARM DEVICE TO BE TAKEN DOWN AND PUT BACK UP AS REQUIRED FOR MECHANICAL/CEILING INSTALLATIONS. SUPPORT/PROTECT DEVICE DURING CONSTRUCTION.



5 NEW CONSTRUCTION - FIRST FLOOR TOILET ROOMS LIGHTING PLAN



6 NEW CONSTRUCTION - FIRST FLOOR TOILET ROOMS POWER AND SYSTEMS PLAN

PANELBOARD LABEL
PROVIDE THE FOLLOWING INFORMATION:
PANEL NAME
PRIMARY DISCONNECT LOCATION SIZE/FUSE
FEEDER SIZE(CONDUIT AND CONDUCTORS)
IF SERVICE RATED LABEL "SERVICE EQUIPMENT RATED"
DATE OF INSTALL
EXAMPLE:
LP-9-5
FED FROM: SWBD-1 200A/3P
FEEDER: 2"C-4#3/0,1#6G
MARCH 2017

- NOTES:
1. PROVIDE SIGN(S) ON EXTERIOR OF ALL ENCLOSURES CONTAINING CONDUCTORS OPERATING AT POTENTIALS UNDER 600 VOLTS.
 2. THE ABOVE LABELING IS MINIMUM REQUIRED. ADD ALL ADDITIONAL LABELING REQUIRED BY THE NEC AND AHJ.
 3. LABEL SHALL BE ATTACHED TO THE FRONT OF EQUIPMENT IN SUCH A MANNER IT IS IN PLAIN SIGHT.
 4. LABEL SHALL BE ENGRAVED PHENOLIC AND FASTENED TO THE EQUIPMENT WITH SCREWS OR RIVETS, NOT TO VOID UL LISTINGS.

7 PANELBOARD LABEL
NO SCALE

Revision Schedule

Revision Number	Revision Description	Revision Date
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HRA ACCESSIBILITY IMPROVEMENTS

WILSON APARTMENTS

ST. CLOUD, MN

DATE	09/28/21
PROJECT	05021001