



Date: 10/12/21

ADDENDUM # 1

PROJECT NAME:

St. Cloud HRA

Wilson Apartments - Accessibility Upgrade

St. Cloud, MN

ARCHITECT:

GLTARCHITECTS

808 COURTHOUSE SQUARE

ST. CLOUD, MINNESOTA 56303

This addendum shall be added to and become a part of the original plans and specifications dated (September 28, 2021). All items shall be as originally specified or drawn unless specifically amended by this or subsequent addenda.

I. SPECIFICATIONS

A. Section 00 01 10 – Table of Contents

1. Add Section 09 51 00 Acoustical Ceilings
2. Delete 09 68 00 Carpeting

B. Section 00 11 13 – Ad for Bid

1. Paragraph 1.3; Change Bid opening time from October 19, 2021 at 2:00pm to October 19, 2021 at **4:00pm**
2. Paragraph 1.5: Delete reference to roofing contractors.

C. Section 01 50 00 – Temporary Facilities and Controls.

1. Paragraph 3.9:C; The Owner will arrange for a few parking stalls on the north end of the site.

D. Section 09 51 00 - Acoustical Ceilings

1. Add attached section to specification.

E. Section 09 68 00 Carpeting: Delete section.

II. DRAWINGS

A. Sheet A1.

1. See demolition key notes for items to be removed by abatement contractor.

B. Sheet A2.

1. Add shelf unit above the toilets in the apartment units.

III. PRODUCT APPROVAL

A. 06 40 23 – Interior Architectural Woodwork

Smart Cabinets

END OF ADDENDUM

ADDENDUM NO. 1

Date: 10/12/2021
 Project: HRA Accessibility Improvements
 Project Location: St. Cloud, MN
 Owner: St. Cloud HRA
 Architect: GLTA Architects
 Bid Due Date: 10/19/2021

This Addendum shall be considered part of the contract documents for the above-mentioned project. The following items modify or interpret the Bidding Documents by additions, deletions, clarifications or corrections. Where a portion of the Bidding Documents are modified by this Addendum, the unaltered portions of the Bidding Documents shall remain in effect. Receipt of this addendum must be acknowledged on bid form, failure to do so may subject Proposer to disqualification.

CHANGES TO BIDDING REQUIREMENTS

PRODUCT APPROVALS:

Section / Drawing No. & Schedule	Material / Product / ID	Approved Manufacturer
Drawing E3.01 - Luminaire Schedule	Fixture Type A1, A2, & A3	Cooper Lighting Metalux FPS LED Series, Lithonia CPANL LED Series
Drawing E3.01 - Luminaire Schedule	Fixture Type B1	Cooper Lighting Halo HU11 Series, Acuity Brands Juno UCES Series
Drawing E3.01 - Luminaire Schedule	Fixture Type C1	Oxygen Lighting ADELPHI Vanity 3-537-24
Drawing E3.01 - Luminaire Schedule	Fixture Type D1	Cooper Lighting Halo SLD6 1200 Series, Acuity Brands Juno JSF Series

END OF ADDENDUM NO. 1

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 3339 W. St. Germain St. #250
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 21308 John Milless Dr., Suite 104
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SECTION 09 51 00 - ACOUSTICAL CEILINGS

PART 1 - GENERAL

1.1 SUMMARY

- A. Section Includes:
 - 1. Acoustical panels and exposed suspension systems for ceilings.

1.2 SUBMITTALS

- A. Comply with Section 01 33 00.
- B. Product Data: For each product indicated.
- C. Samples: For each acoustical panel, for each exposed suspension system member, and for each color and texture required.
- D. Product test reports.
- E. Maintenance data.

1.3 QUALITY ASSURANCE

- A. Comply with Section 01 43 00.
- B. Acoustical Testing Agency Qualifications: An independent testing laboratory or an NVLAP-accredited laboratory.

1.4 WARRANTY

- A. Provide manufacturer's written warranty per Section 01 78 35.
 - 1. Lifetime (30-year) warranty for new suspension system with humidity-resistant panels.
 - 2. 10-year warranty for existing suspension system with humidity-resistant panels.
- B. Warrant materials and workmanship against defects after completion and final acceptance of Work.
 - 1. Repair defects from faulty materials or workmanship developed during guarantee period, or replace with new materials, at no expense to Owner.

PART 2 - PRODUCTS

2.1 MANUFACTURERS

- A. Suspension Systems: Subject to conformance with requirements, provide products from 1 of the following manufacturers:
 - 1. Armstrong World Industries.
 - 2. Chicago Metallic Corp.
 - 3. USG Interiors, Inc.
 - 4. Substitutions: No substitutions allowed.
- B. Acoustic Units: Subject to compliance with requirements, provide products from 1 of the following manufacturers:

1. Armstrong World Industries.
2. USG Interiors, Inc.
3. The Celotex Corporation.
4. Substitutions: No substitutions allowed.

2.2 SUSPENSION SYSTEMS

A. GRID:

1. Exposed Grid Suspension System (Non-Rated):
 - a. Material: ASMT C635, hot dipped galvanized steel with baked polyester paint finish
 - b. System: 15/16 inch exposed Tee grid.
 - c. Color: White.
 - d. System:
 - 1) Armstrong World Industries: Prelude 15/16".
 - 2) USG Interiors, Inc.: Donn DX.
 - 3) Chicago Metallic, Inc.: 500 Snap-Grid.

B. Metal Edge Molding:

1. Manufacturer's metal or extruded aluminum standard moldings for edges and penetrations that fit type of edge detail and suspension system specified.
2. For acoustical tile screwed to suspension system, provide edge moldings at ceiling perimeters and where indicated.
3. For lay-in suspension systems, provide suspension system manufacturer's standard edge moldings that match width and configuration of exposed runners.

2.3 ACOUSTICAL CEILING PANEL SYSTEMS

A. CEILING TILE:

1. Acoustical Panels: Type III, mineral base with factory painted finish.
 - a. Size: 2 foot by 2 foot by 5/8 inch.
 - b. Edges: Tegular
 - c. Class A per ASTM E1264.
 - d. Flame Spread: 25.
 - e. Color: White.
 - f. Pattern: Astro ClimaPlus
 - g. Manufacturer: USG or approved substitute.
 - h. Manufacturer: Armstrong Acustone or approved substitute.

2.4 ACCESSORIES

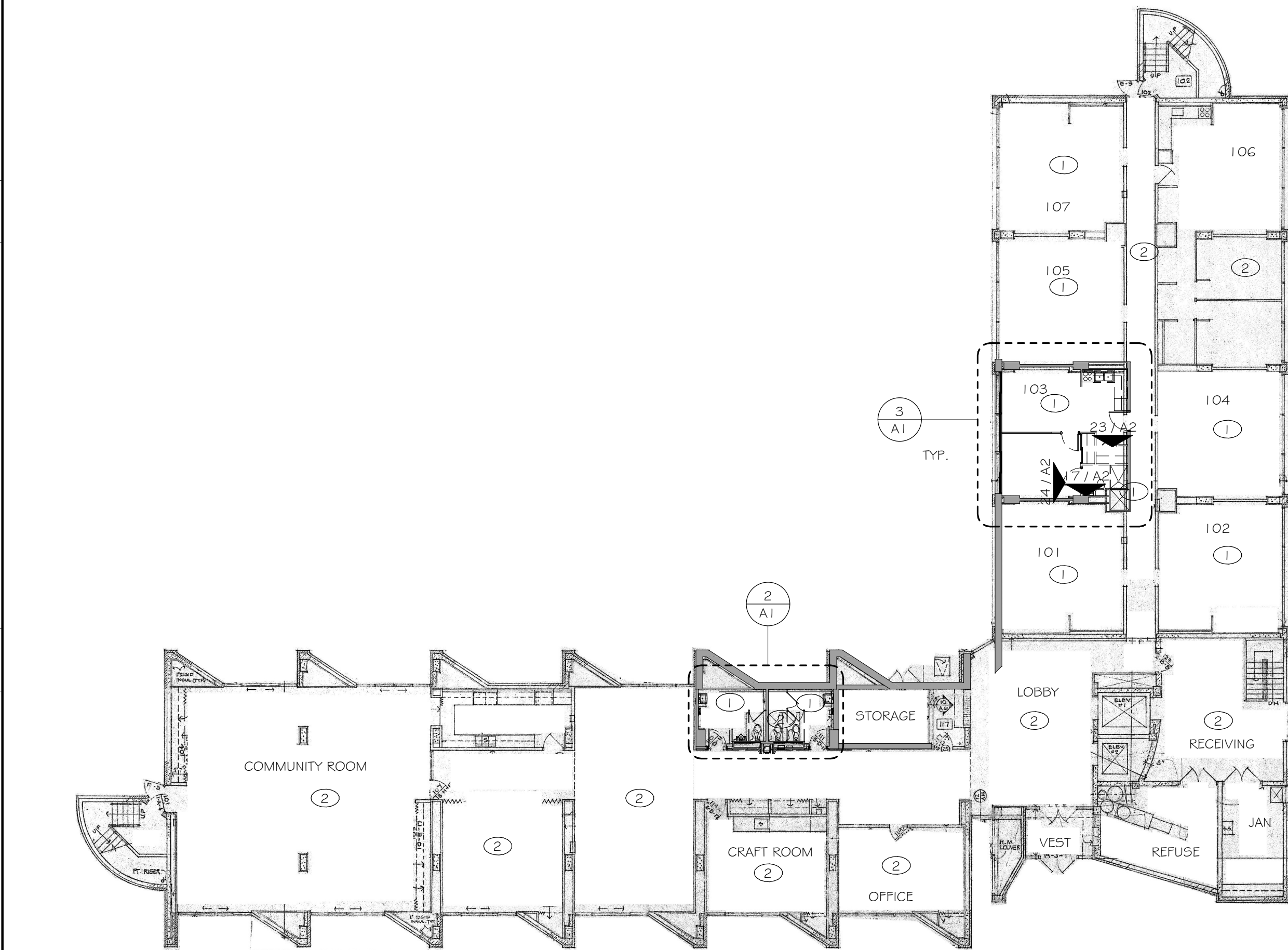
- A. Attachment Devices: Size for 5 times the design load indicated in ASTM C 635, Table 1, "Direct Hung," unless otherwise indicated.
 1. Power-Actuated Fasteners in Concrete: Fastener system of type suitable for application indicated, fabricated from corrosion-resistant materials, with clips or other accessory devices for attaching hangers of type indicated, and with capability to sustain, without failure, a load equal to 10 times that imposed by ceiling construction, as determined by testing per ASTM E 1190, conducted by a qualified testing and inspecting agency.

PART 3 - EXECUTION

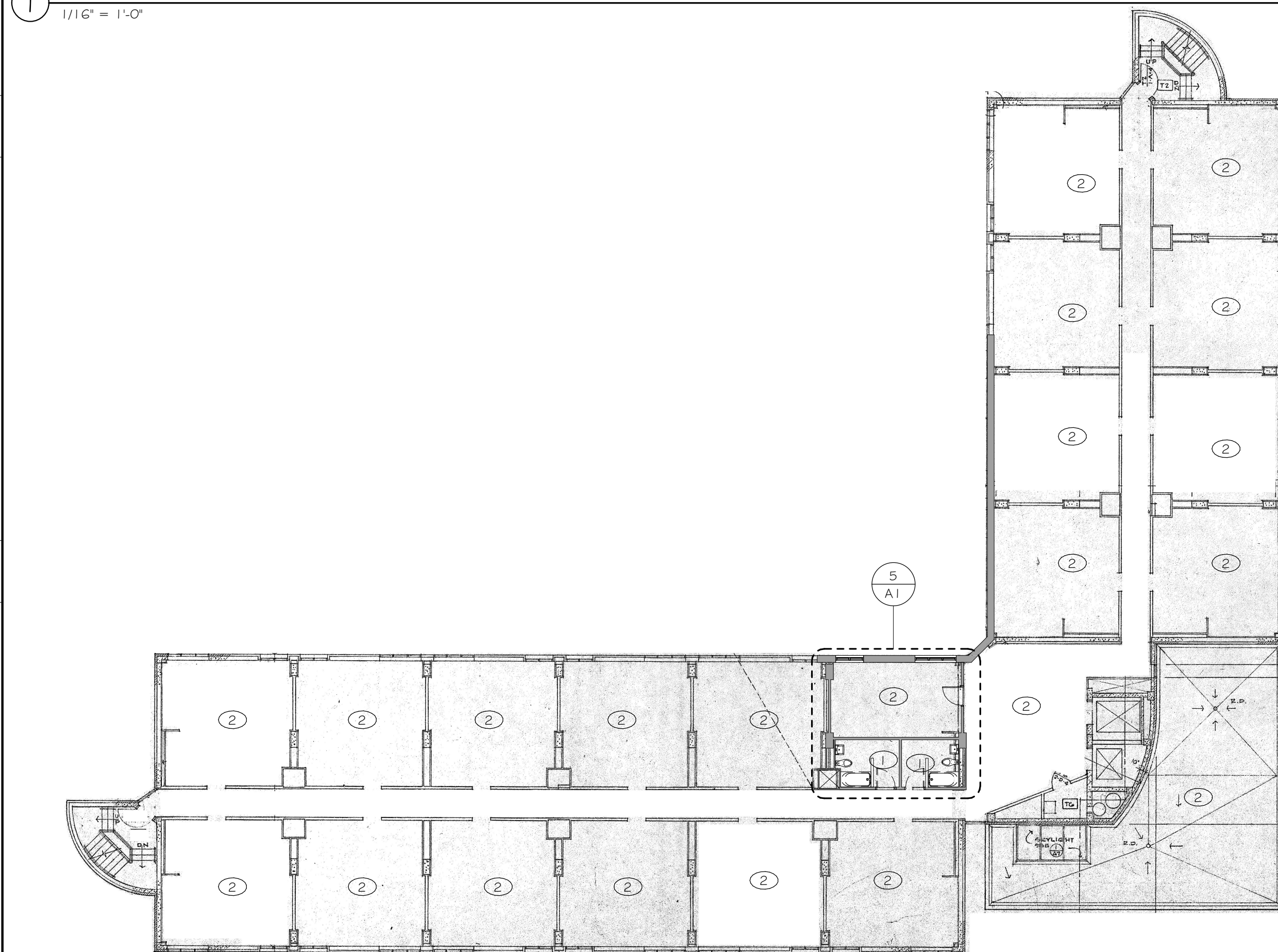
3.1 INSTALLATION

- A. Comply with Section 01 70 00.
- B. General: Install acoustical panel ceilings to comply with ASTM C 636 requirements indicated, per manufacturer's written instructions and CISCA's "Ceiling Systems Handbook."
- C. Measure each ceiling area and establish layout of acoustical panels to balance border widths at opposite edges of each ceiling. Avoid using less-than-half-width tiles at borders.
- D. Suspend ceiling hangers from building's structural members, plumb and free from contact with insulation or other objects within ceiling plenum. Splay hangers only where required to miss obstructions; offset resulting horizontal forces by bracing, countersplaying, or other equally effective means. Where width of ducts and other construction within ceiling plenum produces hanger spacings that interfere with location of hangers, use trapezes or equivalent devices.
 - 1. Do not support ceilings directly from permanent metal forms or floor deck; anchor into concrete slabs.
 - 2. Do not attach hangers to steel deck tabs or to steel roof deck.
- E. Install edge moldings and trim of type indicated at perimeter of acoustical ceiling area and where necessary to conceal edges of acoustical panels. Screw attach moldings to substrate with concealed fasteners at intervals not more than 16 inches on center and not more than 3 inches from ends, leveling with ceiling suspension system to a tolerance of 1/8 inch in 12 feet. Miter corners accurately and connect securely.
- F. Install suspension system runners so they are square and securely interlocked with one another. Remove and replace dented, bent, or kinked members.
- G. Apply joint compound (or other manufacturer recommended product) to cut edges of tegular tile to mask tile core color.
- H. Install acoustical panels with undamaged edges and fit accurately into suspension system runners and edge moldings. Scribe and cut panels at borders and penetrations to provide a neat, precise fit.

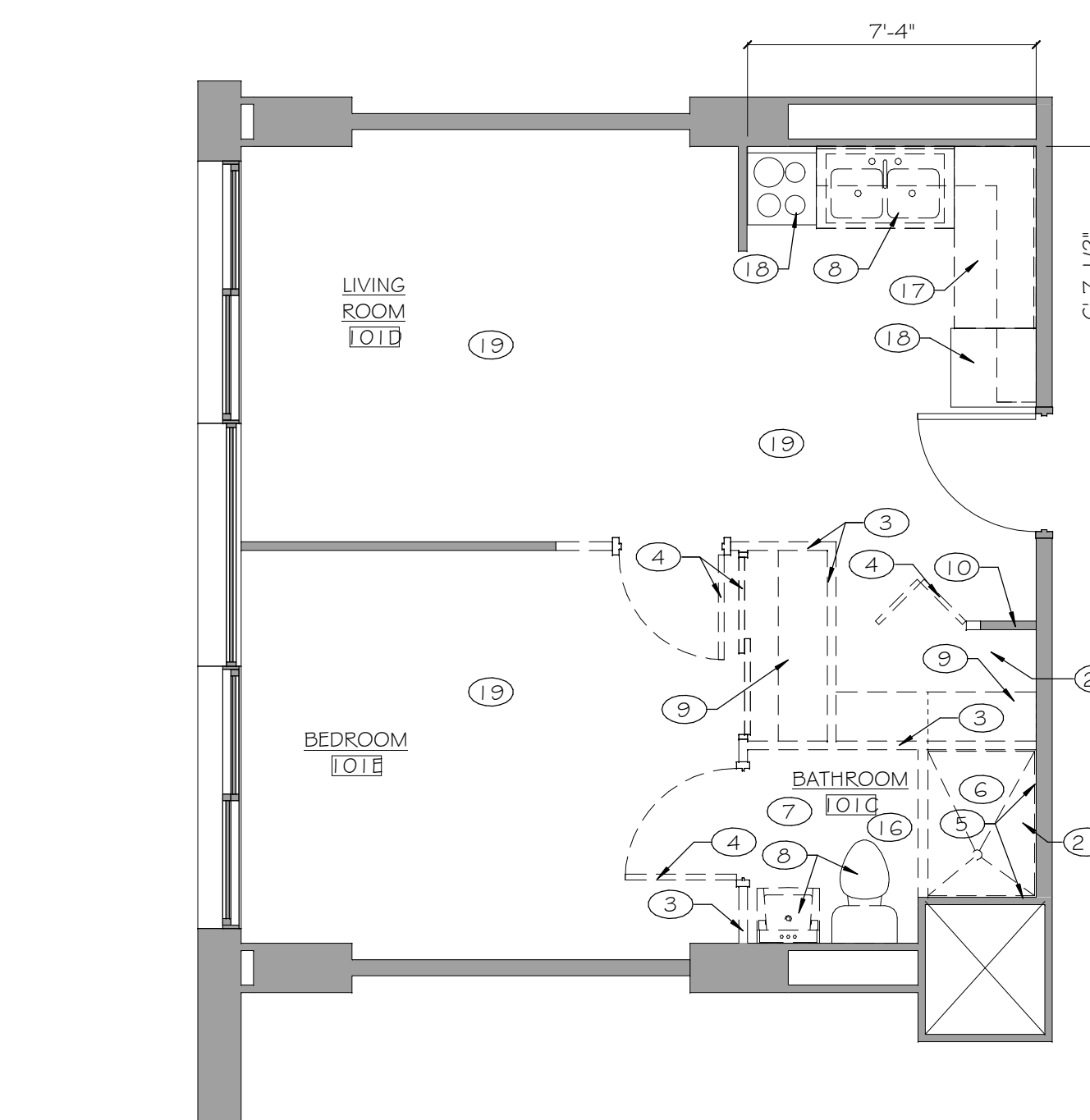
END OF SECTION



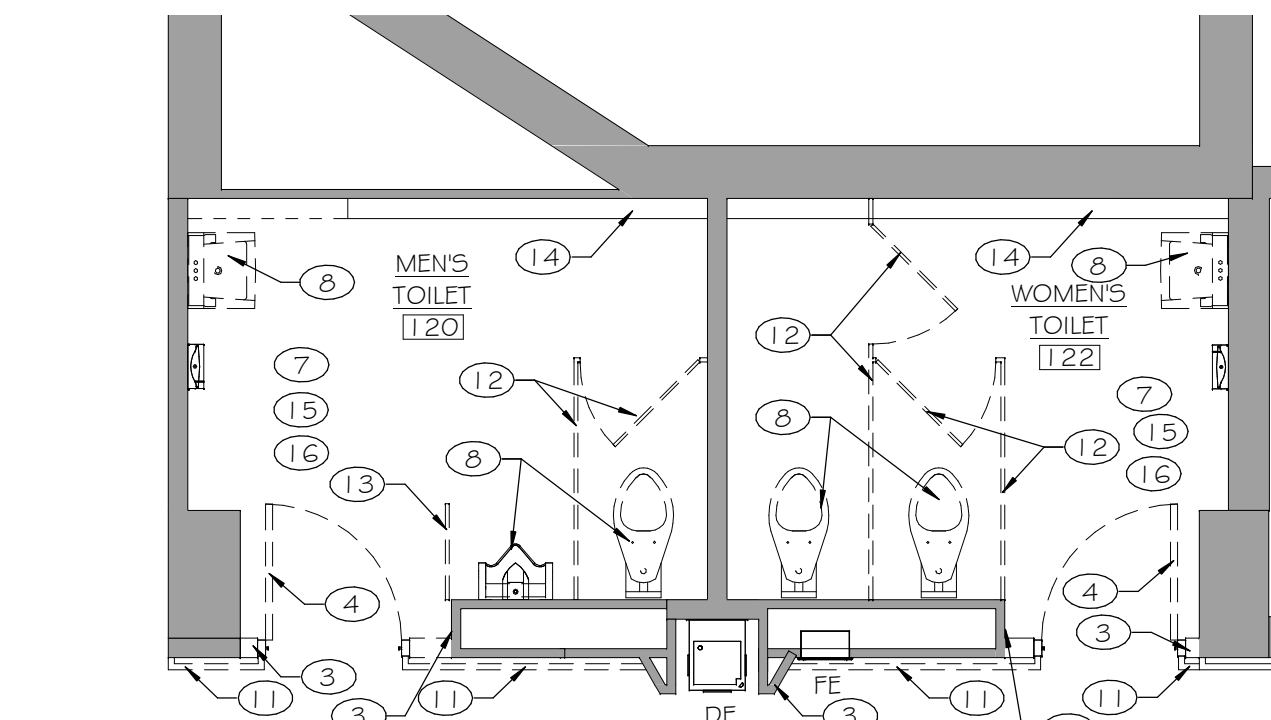
1 FIRST FLOOR KEY PLAN - DEMOLITION
1/16" = 1'-0"



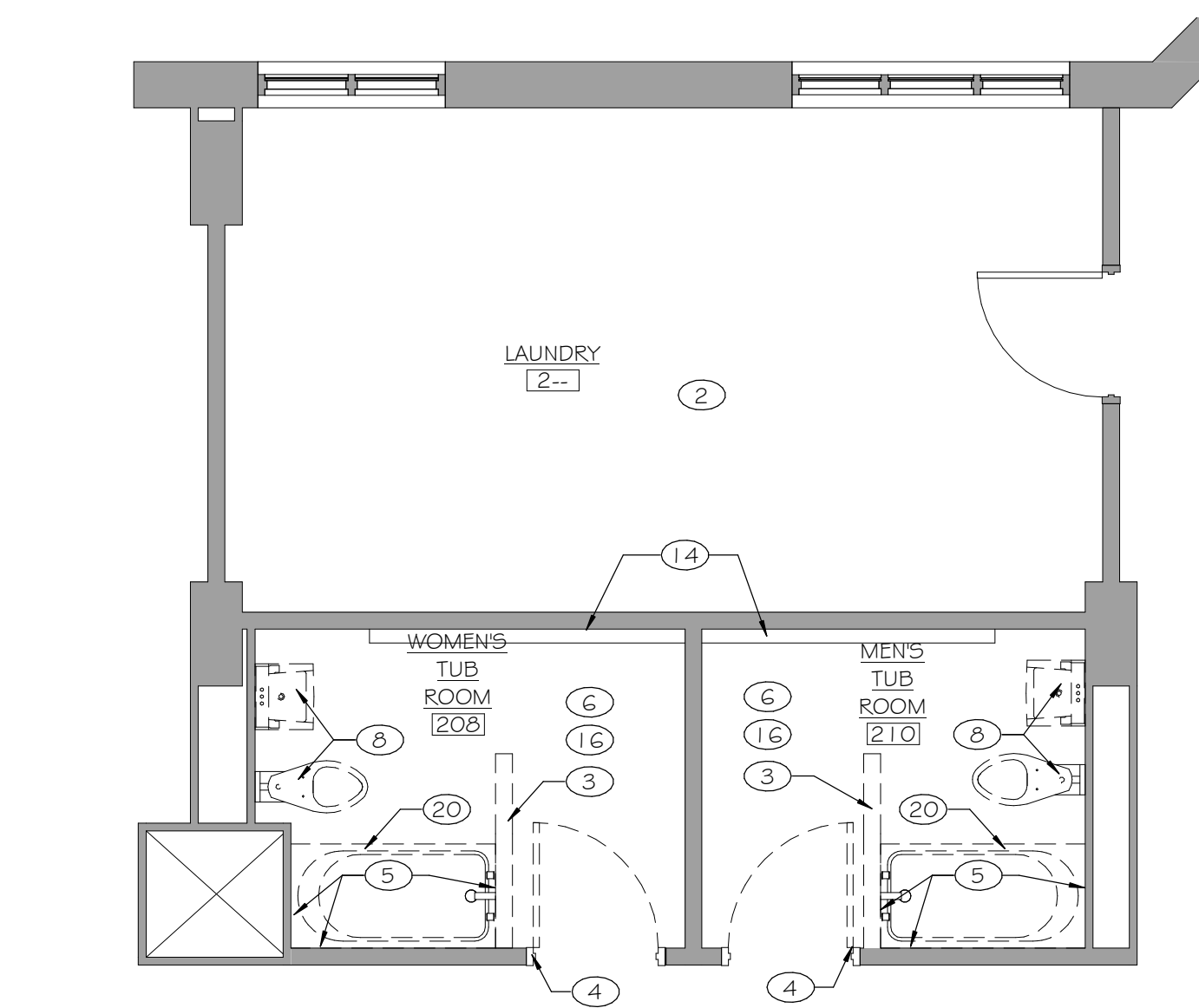
4 SECOND FLOOR KEY PLAN - DEMOLITION
1/16" = 1'-0"



3 DEMOLITION PLAN - FIRST FLOOR
TYPICAL UNIT (6 THUS)
1/4" = 1'-0"



2 DEMOLITION PLAN - FIRST FLOOR
TOILETS
1/4" = 1'-0"



5 DEMOLITION PLAN - SECOND FLOOR
BATHING
1/4" = 1'-0"

GENERAL DEMOLITION NOTES

- THE CONTRACTOR SHALL EXAMINE THE DRAWINGS AND EXISTING SITE CONDITIONS TO DETERMINE EXTENT OF DEMOLITION WORK REQUIRED.
- DEMOLITION TO BE BY SAW WHEN NEAT & STRAIGHT CUTS ARE REQUIRED.
- ALL DEMOLITION MUST BE DONE IN THE REQUIRED EXTENT TO PREPARE & ALLOW FOR THE NEW FINISH OR CONSTRUCTION ELEMENT PLANNED AT THIS LOCATION.

DEMOLITION PLAN NOTES

- UNIT TO BE MADE ACCESSIBLE, SEE UNIT PLAN.
- NO WORK, U.N.O.
- REMOVE MTL STUD AND GYP BD WALL CONST.
- REMOVE DOOR, FRAME, AND HARDWARE.
- REMOVE TILE AND CEMENT BOARD BACKER. (ABATEMENT CONTRACTOR TO REMOVE WALL TILE IN TUBROOMS 208 & 210)
- REMOVE C.T. FLOOR TILE AND BASE.
- REMOVE SHEET VINYL FLOORING AND BASE. (ABATEMENT CONTRACTOR WILL REMOVE IN APARTMENTS)
- REMOVE PLUMBING FIXTURE, SEE MECH.
- REMOVE CLOSET ORGANIZER / SHELVES.
- ELECTRICAL PANEL.
- REMOVE WD HANDRAIL AND BRACKETS. SALVAGE FOR REUSE
- REMOVE TOILET PARTITION AND DOORS.
- REMOVE URINAL SCREEN.
- EXISTING HEAT RADIATOR, PROTECT DURING CONSTRUCTION.
- REMOVE 4'-0" HIGH TILE WAINSCOT FROM THIS ROOM.
- REMOVE ALL TOILET ACCESSORIES (MIRRORS, GRAB BARS, ETC.).
- REMOVE CASEWORK.
- EXISTING APPLIANCE, RELOCATE DURING CONSTRUCTION.
- EXISTING ACT FLOORING TO REMOVED BY ABATEMENT CONTRACTOR
- REMOVE BATHTUB.
- REMOVE CONCRETE SLAB FOR NEW SHOWER FLOOR
- EXISTING VCT FLOORING AND BASE TO BE REMOVED BY ABATEMENT CONTRACTOR

Revision Schedule

Revision Number	Revision Description	Revision Date
1	Revision 1	10/12/2021

WILSON APARTMENTS ACCESSIBILITY UPGRADES

ST. CLOUD HRA

41 3RD AVENUE NORTH EAST
ST. CLOUD, MINNESOTA
56303

NORTH	DATE	09/28/2021
	PROJECT	2107
		A1

ROOM FINISH SCHEDULE										
NUMBER	ROOM NAME	FLOOR	BASE	WALLS				CEILING	CLG. HEIGHT	COMMENTS
				NORTH	EAST	SOUTH	WEST			
101A	KITCHEN	VCT	RB	P / PLAM	P / PLAM	P	P	ACT	8'-0"	7
101B	PANTRY	VCT	RB	P	P	P	P	ACT	8'-0"	
101C	BATHROOM	SV / CT	RB / CT	P	P	P	P	ACT	8'-0"	1
101D	LIVING ROOM	VCT	RB	P	P	P	P	ACT	8'-0"	
101E	BEDROOM	VCT	RB	P	P	P	P	ACT	8'-0"	
120	MEN'S TOILET	SV	SV	CT / SP	CT / SP	CT / SP	CT / SP	ACT	8'-0"	2, 3
122	WOMEN'S TOILET	SV	SV	CT / SP	CT / SP	CT / SP	CT / SP	ACT	8'-0"	2, 3
123	HALLWAY	EX CPT	CPT	P	EX	EX	EX	EX ACT	8'-0"	5, 6
208	WOMEN'S TUB ROOM	CT	CT	P	P	P	P	P	8'-0"	4
210	MEN'S TUB ROOM	CT	CT	P	P	P	P	P	8'-0"	4

ROOM FINISH SCHEDULE ABBREVIATIONS			NOTES:	
AP	ACOUSTICAL PANEL	RT	RUBBER TILE	
ACT	ACOUSTICAL CEILING TILE	SF	SPECIAL FINISH	
C	CONCRETE SEALED	SP	SPECIAL PAINT	
CPT	CARPET	SV	SHEET VINYL	
C-SF	CONCRETE - SPECIAL FINISH	TZ	TERRAZZO	
CT	CERAMIC TILE	V	VINYL BASE	
CTP	CEILING TEXTURE AND PAINT	VT	VINYL TILE	
CU	CONCRETE BLOCK w/ URETHANE	VCT	VINYL COMPOSITION TILE	
EX	COATING	VWC	VINYL WALLCOVERING	
EXP-	EXISTING TO REMAIN	WDF	WOOD, FIELD FINISHED	
P	EXPOSED STRUCTURE PAINTED	WDP	WOOD, PRE-FINISHED	
FRP	FIBERGLASS REINFORCED PANEL	WTP	WALL TEXTURE AND PAINT	
MTL	METAL GRATE - SEE SPECIFICATIONS	WTS	WALL TEXTURE AND SPECIAL PAINT	
P	PAINT	WM	WALK OFF MAT	
PCT	PORCELAIN TILE	WM	NO FINISH	
QT	QUARRY TILE	--		
RB	RUBBER BASE	--		

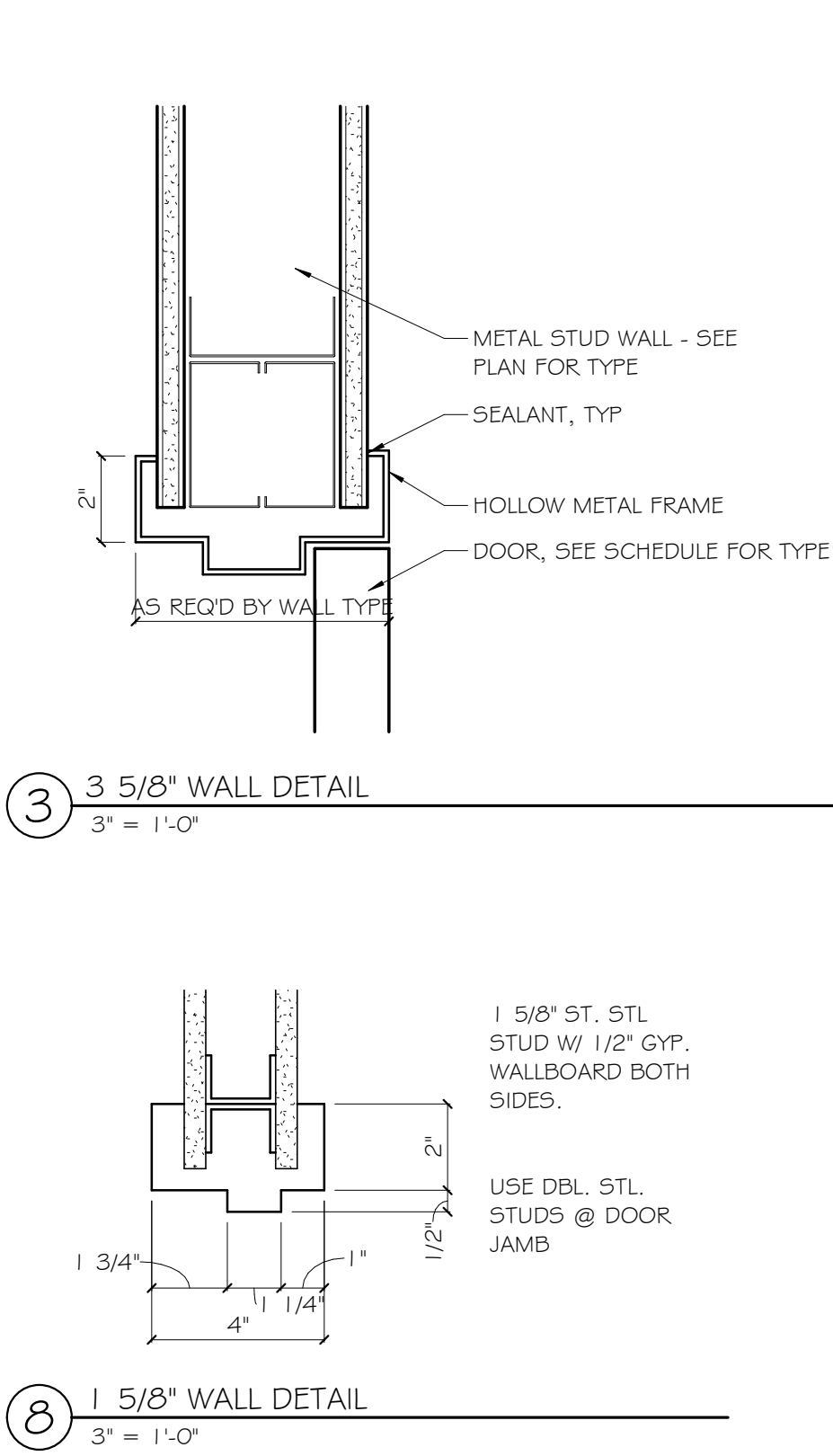
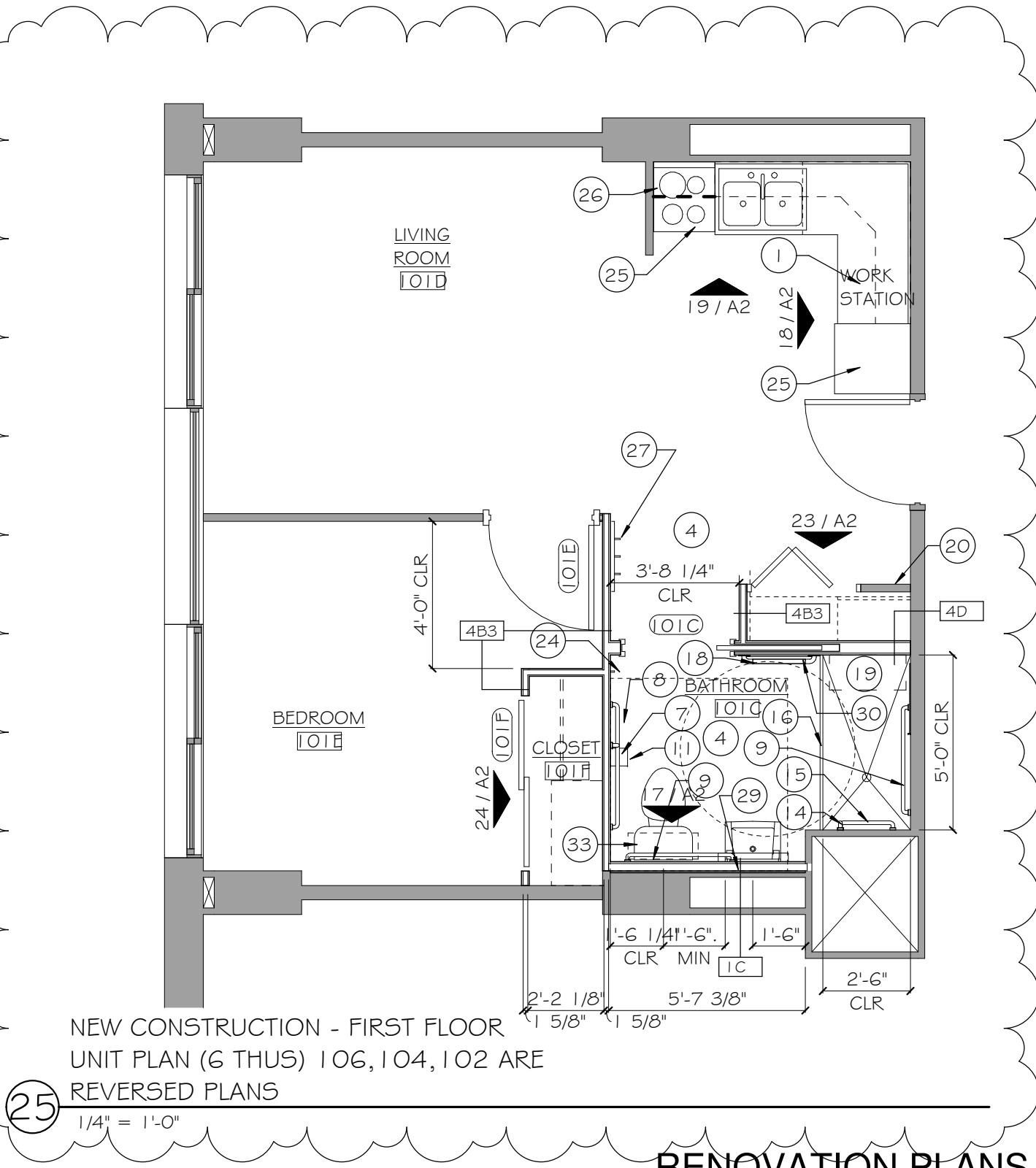
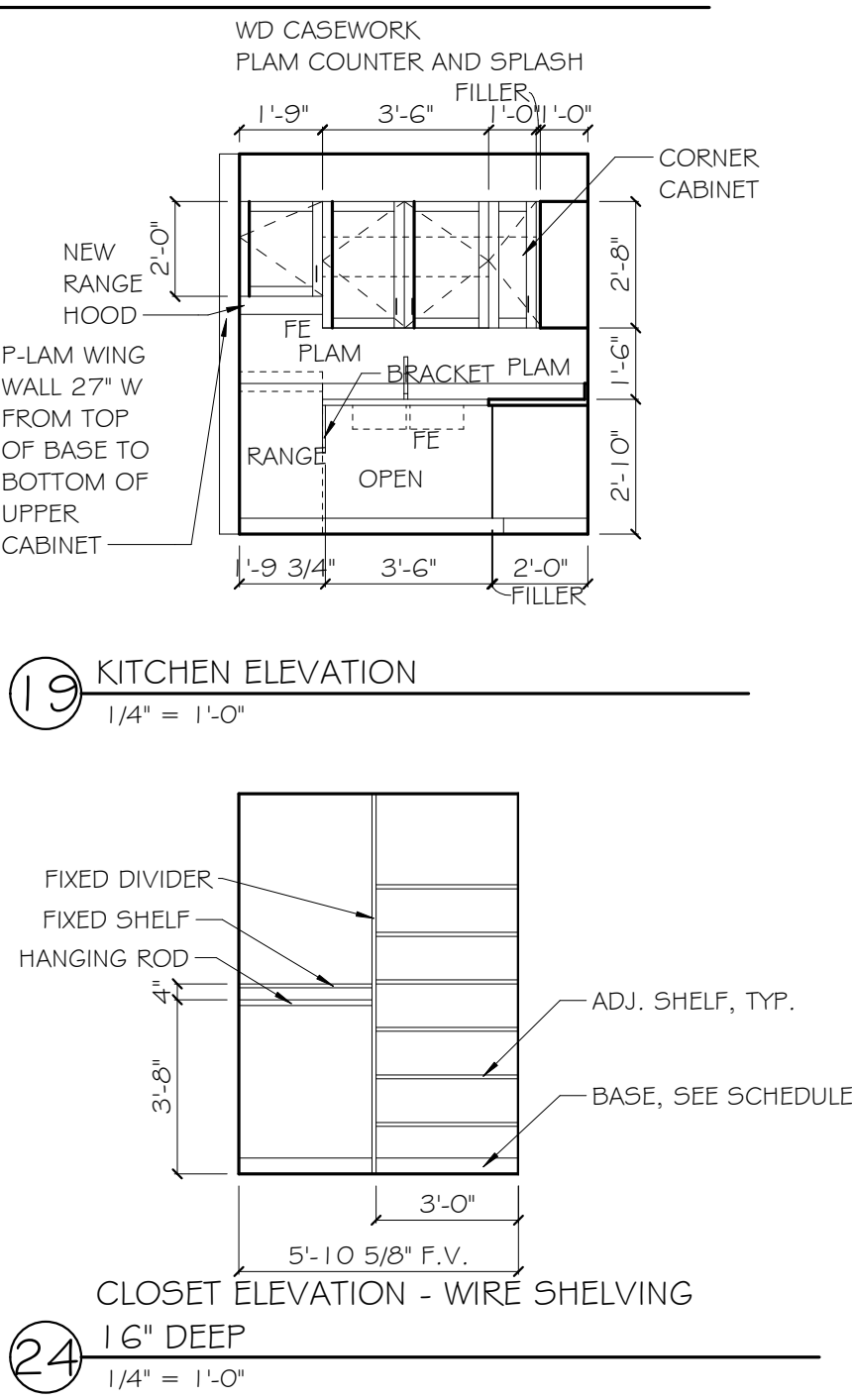
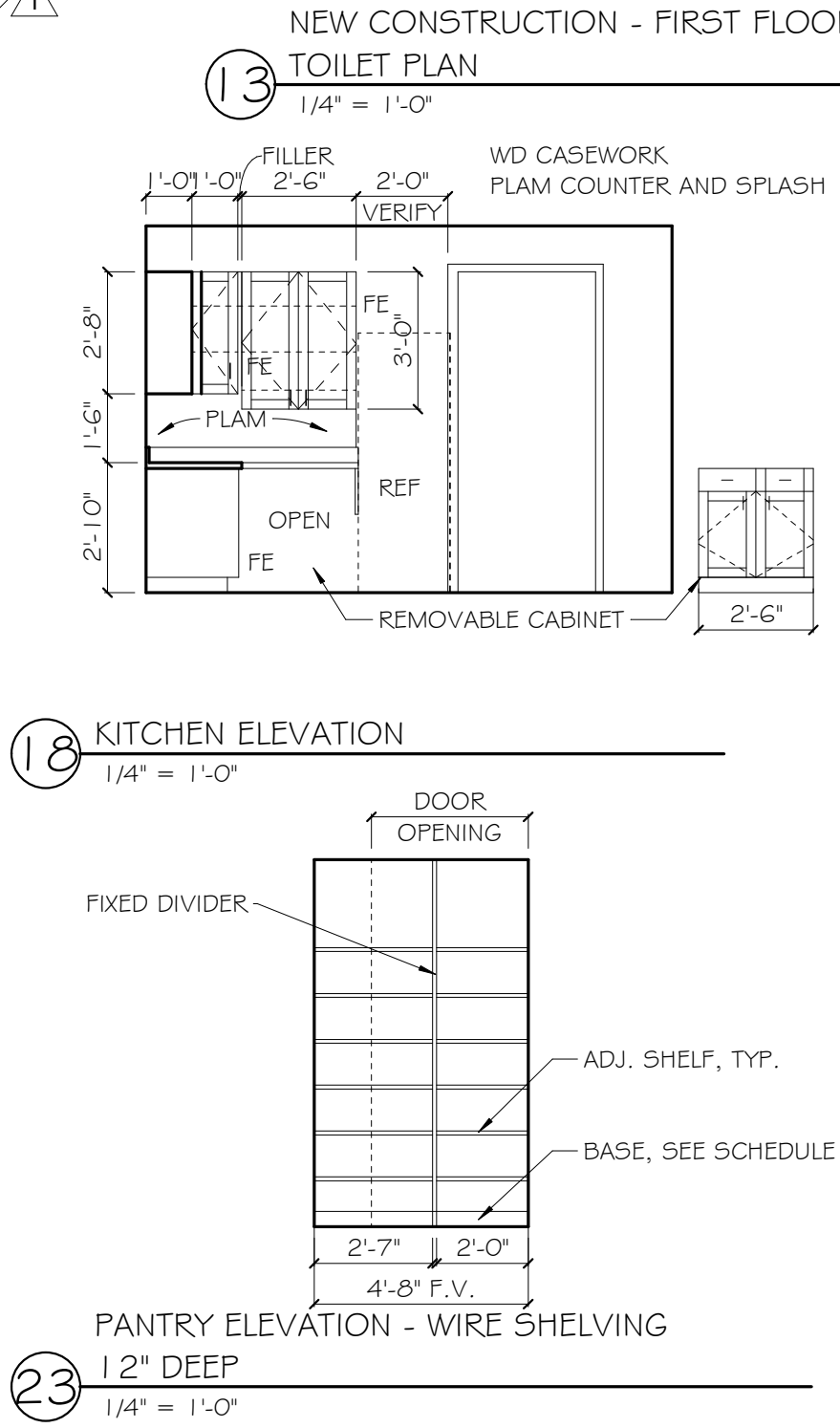
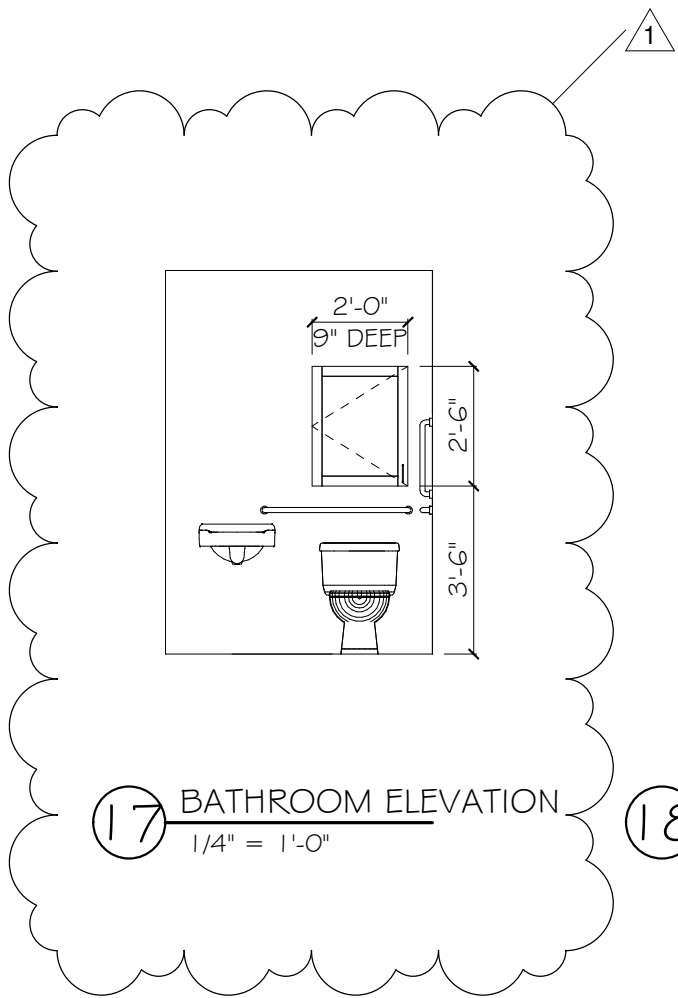
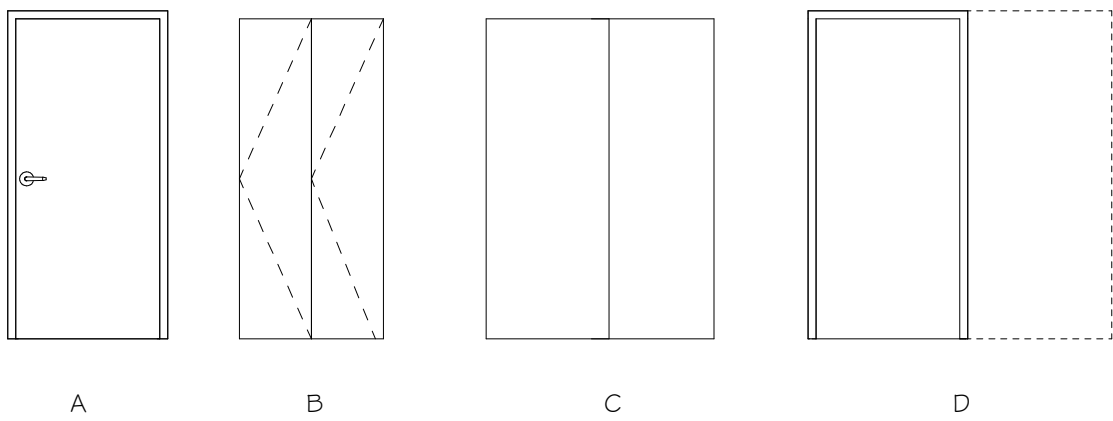
DOOR SCHEDULE											
MARK	SIZE	ELEV	MATERIAL			DETAIL			FIRE RATING	HDWR	NOTES
			DOOR	FRAME	GLASS	HEAD	JAMB	SILL			
101B	3'-6" x 6'-8" x 1 3/8"	B	WD	-	-	-	-	-	-	1	3
101C	3'-0" x 6'-8"	D	WD	HM	-	-	-	-	-	2	1
101E	3'-0" x 6'-8" x 1-3/4"	A	WD	HM	-	8/A2	8/A2	-	-	3	
101F	5'-0" x 6'-8" x 1 3/8"	C	WD	-	-	-	-	-	-	4	2
120	3'-0" x 6'-8" x 1-3/4"	A	WD	HM	-	3/A2	3/A2	-	-	5	
122	3'-0" x 6'-8" x 1-3/4"	A	WD	HM	-	3/A2	3/A2	-	-	5	
208	3'-0" x 6'-8" x 1-3/4"	A	WD	HM	-	3/A2	3/A2	-	-	5	
210	3'-0" x 6'-8" x 1-3/4"	A	WD	HM	-	3/A2	3/A2	-	-	5	

NOTES	DOOR SCHEDULE KEY
1. POCKET DOOR MAINTAIN 32" CLEAR	
2. SLIDING DOOR	
3. BIFOLD DOOR	
4.	
5.	
6.	
7.	
8.	
9.	

WALL TYPES			- ALL STUD FRAMING TO BE 16" O.C., U.N.O. - TYPICAL WALL = 4D1 UNLESS OTHERWISE NOTED	
1	5/8" GYP. BD METAL STUD EXISTING WALL		4	1-HR. RATED WALLS (WHERE INDICATED ON PLANS) METAL STUD : UL U448/U465 WOOD STUD : UL U309/U314
9	5/8" GYP BD 5/8" CEMENTITIOUS BOARD 6 MIL POLY IN WET AREAS 20ga METAL STUD FRAMING 5/8" GYP BD		9	

WALL TYPE SCHEDULE KEY	MATERIAL SIZE	SUPPLEMENT
	METAL	WOOD STUD MASONRY
	A 7/8"	3/4"
	B 1 5/8"	1 1/2"
	C 2-1/2"	2 1/2"
	D 3 5/8"	3 1/2"
	E 6"	5 1/2"
	F 8"	7 1/4"
	G 12"	11 1/4"
	H --	5/8"
		15
		5/8"

NOTE: KEEP STANDARD 13 TYPES & NUMBERS. ADD NEW NUMBERS FOR NEW TYPES. TO SAVE SPACE, YOU MAY MOVE OFF TYPES NOT USED, AND ADD ONES AT THE END. MOVE OFF SUPPLEMENTS THAT ARE NOT USED, AND RE-LETTER THE REMAINING ONES.



- PLAN NOTES
- WRAP PIPE UNDER SINK, SEE MECH.
 - ADD AUTOMATIC DOOR OPENER TO EXISTING DOOR.
 - REPAIR WALL SURFACE TO MATCH ADJACENT.
 - PATCH GYP BD CEILING WHERE WALL WAS REMOVED.
 - MODIFY EXISTING WD HANDRAIL TO RETURN TO WALL.
 - EXISTING FIRE EXTINGUISHER CABINET TO REMAIN.
 - 18" GRAB BAR (VERTICAL).
 - 42" GRAB BAR (HORIZONTAL).
 - 36" GRAB BAR (HORIZONTAL).
 - HANDS FREE SOAP DISPENSER.
 - TOILET PAPER HOLDER.
 - MIRROR, W/ SHELF
 - 12" GRAB BAR (HORIZONTAL).
 - 24" GRAB BAR (VERTICAL).
 - 18" GRAB BAR (HORIZONTAL).
 - SHOWER ROD (SHOWER CURTAIN BY OWNER).
 - 24" TOWEL BAR.
 - FOLD-DOWN SEAT.
 - ELECTRICAL PANEL
 - SANITARY NAPKIN WASTE RECEPT.
 - PAPER TOWEL DISPENSER.
 - 24" GRAB BAR (HORIZONTAL).
 - ROBE HOOK OR TOWEL PIN.
 - NEW APPLIANCE, BY OWNER
 - NEW RANGE HOOD
 - 3 COAT HOOK ON 1 X 4 FINISHED HARDWOOD BOARD TOP OF BOARD TO BE 4'-0" A.F.F
 - INFILL CARPET PROVIDED BY OWNER AT NEW DOOR WAY.
 - MEDICAL CABINET
 - MIRROR
 - DIAPER CHANGING STATION
 - NEW CONCRETE SLAB @ SHOWER, SLOPE 1/4" / FT TO DRAIN
 - NEW OVER TOILET CABINET

- GENERAL PLAN NOTES
- DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD OR FACE OF MASONRY UNLESS NOTED OTHERWISE. WRITTEN & FIGURED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS.
 - SOME WALLS, WHETHER NOTED OR NOT, MAY NEED WIDER FRAMING TO ACCOMMODATE PLUMBING, CONDUIT, OR DUCTWORK. VERIFY AND COORDINATE WITH MECHANICAL OR ELECTRICAL CONTRACTOR, AND NOTIFY ARCHITECT OF ANY SUCH CHANGES.
 - DIMENSIONS ON THE DRAWINGS ARE SUBJECT TO FIELD VERIFICATION TO SUIT ADJACENT ELEMENTS. DIMENSIONS TO, AND INVOLVING EXISTING BUILDINGS, SHALL ALL BE FIELD VERIFIED BY CONTRACTOR. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
 - DOORS IN CORNERS SHOULD BE FRAMED TO BE A MINIMUM OF 3" AWAY FROM PERPENDICULAR WALL UNLESS NOTED OTHERWISE.
 - ALL WALLS RUN TO DECK, AND ARE SEALED TOP & BOTTOM EACH SIDE UNLESS NOTED OTHERWISE.
 - SUBSTITUTE WATER RESISTANT GYPSUM BOARD IN ALL WET AREAS (BATHROOMS, TUB ROOMS, TOILET ROOMS).

GLTArchitects

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I Hereby Certify That This Plan, Specification or Report Was Prepared By Me or Under My Direct Supervision and That I Am a Duly Licensed Architect Under the Laws of the State of Minnesota.

STEVE PAASCH
DATE 9/28/2021 REG. NO. 21740

Revision Schedule		
Revision Number	Revision Description	Revision Date
1	Revision 1	10/12/2021

WILSON APARTMENTS ACCESSIBILITY UPGRADES

ST. CLOUD HRA

41 3RD AVENUE NORTH EAST
ST. CLOUD, MINNESOTA
56303

NORTH	DATE	09/28/2021
	PROJECT	2107
A2		